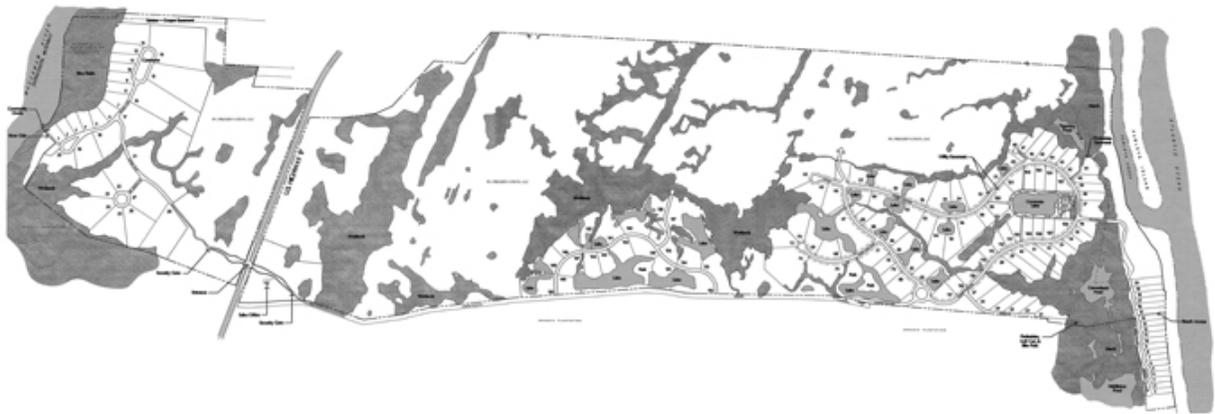


PRINCE GEORGE

~from the river

to the ocean ~



ARCHITECTURAL REVIEW BOARD GUIDELINES

Revised November 2023

WACCAMAW NECK

GEORGETOWN COUNTY, SC



WACCAMAW NECK
 Narrow strip of land from Atlantic Ocean to Waccamaw River. Rice plantations flourished by 1740. Remaining are c. 1790 houses Litchfield and Prospect Hill, and one slave chapel. All Saints Parish est. 1767. Area furnished salt for Revolutionary War. Visitors include Lafayette 1777, Washington 1791, J. Monroe 1819, Churchill 1932, F. Roosevelt 1944.

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INTRODUCTION / DISCLAIMER

The Prince George Planned Community is in Georgetown County, South Carolina, located on the historic Waccamaw Neck. This land has been treasured since its earliest inhabitants for its abundant wildlife, its relationship to the marshes, wetlands, river, and ocean and for its serene and peaceful forests. Through thoughtful stewardship and basic respect, these features remain largely intact and undisturbed. To preserve these characteristics for generations to come, the plan for the Prince George Community original plan called for one hundred fifty single family lots, ranging in size from 0.75 acres to over 15 acres.

The ARB Guidelines are intended to provide guidance for homeowners, architects, landscape architects and contractors in the development and construction of new homes, additions, renovations, site work and landscaping in understanding what Prince George is to be, and how to accomplish the goals of the development as a whole. **By requiring quality, respect for the land and attention to detail, the serenity and beauty can be preserved, and property values can be protected and enhanced.** The ARB has the authority to approve deviations from any of the Guidelines providing that the proposal is consistent with the overall objectives of the ARB Guidelines. For example, the ARB may disapprove an item shown in the final review submittal even though it may have been evident and could have been, but was not, disapproved at the Preliminary Review. An oversight by the ARB of non-compliance at any time during the review process, construction process or during its final inspection does not relieve the Owner/Developer from compliance with these Guidelines and all other applicable codes, ordinances, and laws. Prince George's Ocean side is buffered on the north by PG Preservation, LLC lands and on the east by the Atlantic Ocean, and adjacent to undeveloped plantations to the south. Prince George's River side is buffered on the west by the Waccamaw River, on the north by PG Preservation, LLC lands, including an easement for an undisturbed portion of the Old Kings Highway, and adjacent to undeveloped plantations to the south.

These guidelines are intended to ensure those ideals, providing parameters in deciding what your home and grounds will look like and how they will relate to each other, to your neighbors and to the community as a whole. They offer a variety of opportunities for self-expression and individual responses to lifestyle. These guidelines are meant to be used in concert with the codes, covenants and restrictions that are noted in plats, deeds, and the Declaration of Covenants and Restrictions for Prince George. It is the responsibility of each property owner to be sure that they have the most current edition of the ARB Guidelines. These guidelines may be amended as needed by the Architectural Review Board and are recorded with the Register of Deeds for Georgetown County, South Carolina.

Each homeowner and contractor must familiarize themselves with such guidelines and provisions before submitting conceptual plans for review.

There are design styles, materials and construction techniques which have been determined to be incompatible with the overall aesthetic goals for Prince George; therefore, will not be acceptable.

The Architectural Review Board (ARB) will strive to make each home as architecturally appealing and historically accurate as possible. The ARB may use the written Guidelines to direct its efforts, but should not allow the Guidelines to degrade a home's potential to be its best. This

purpose statement specifically applies to home designs that are grounded in historical principles or modeled specifically after historical low-country homes.

The inclusion of any recommendations in these guidelines shall not preclude the Architectural Review Board's (ARB) right to disapprove any proposed matter for any reason, even if previously allowed in the Community.

ARCHITECTURAL THEME

The Prince George Architectural design theme is described as Traditional/Historic Low Country. Consequently, homes should be built with an unusually high level of quality, stressing understated elegance and quiet dignity. Distinctive features of this character include building wide overhanging eaves with large porches, operable shutters, narrow wings, and painted siding.

To achieve this cohesive style, the highest quality construction, landscaping materials and methods should be employed, in harmony with the climate and intrinsic beauty of this setting. Structures should be of an appropriate scale. Exteriors should be of subtle colors and should blend pleasingly into the neighborhood. Single family residences shall have the minimum square footage of 3,000 square feet and the recommended maximum of 6,000 square feet of enclosed living area. This footage is exclusive of garages, bonus rooms over garages or finished attic spaces, terraces, decks, open/screened porches, roof overhangs and stairs.

Developed in the late 1700s, Lowcountry style architecture is one of the most distinctive elements of the region. Originally designed to accommodate residents of the subtropical climate of South Carolina, the historical features and designs of these stately homes are still loved by southerners and admired by visitors today.

The spacious rooms and porches of these elegant homes also facilitate that famous Southern hospitality – the heartbeat of the Lowcountry.

What is “Lowcountry style” exactly?

A beautifully designed Lowcountry home is breathtaking with its air of elegance, grace, and history.

Wide shady verandas that wrap around the house, large double-hung windows with wooden shutters, screened-in porches, and tall front doors with transoms above, are features visible from the outside.

Porch ceilings and even shutters are often painted with “haint blue”, a soft blue-green shade that South Carolina’s Gullah people, who are descendants of African slaves, believed would keep away evil spirits.

Inside the Lowcountry homes, are found spacious rooms with high ceilings, fans, and open-concept layouts to further encourage air circulation.

When it was first designed, the primary function of Lowcountry architecture was to keep the house and its inhabitants cool.

With the knowledge that hot air rises and cooler air stays close to the floor, homes were built with airflow and ventilation features.

Let's take a look at how the various features worked:

- **Transom:** This is a transverse horizontal structural beam or bar, or a crosspiece separating a door from a window above it. The window above the transom in a Lowcountry home could be opened to allow ventilation. It would also let in more light.
 - **Screened porches:** Wide furnished rooms on the outside of the house enclosed with screens instead of glass. Used for sitting during the day or sleeping on warm nights.
 - **Verandas:** These were often spacious additions to the exterior of a house, giving residents a shady place to relax and socialize while still allowing light into the interior.
 - **Double-hung windows:** Tall windows with an opening at the top to allow hot air to escape, and an opening at the bottom to draw the cooler evening air in.
 - **Shutters:** Historically, shutters were used to keep out inclement weather and protect against gusting coastal winds.
 - **High ceilings:** These were 10 – 14 feet high in older homes and had electric or rope-powered (by hand) fans. High ceilings gave warm air a place to go before being ventilated through the upper part of double hung windows.
 - **Open concept room design:** Large spacious rooms with doors and windows at each end allowed air to flow freely through the house. In addition, the space was perfect for large social gatherings of friends and family.
 - **Reflective metal roofing:** Many older homes had light-colored, or silver-metal roofs made of lead, tin, or copper – long lasting and ideal for keeping out tropical rains and reflecting the sun's rays.
- The classic Lowcountry home is beloved, and deeply rooted in tradition. Southerners and visitors continue to love the grace and ambiance of Lowcountry architecture.
- **Garage bays:** Two full garage bays are required and a minimum of three garage bays would be preferred.

To ensure that Prince George maintains a high quality of architectural design, all plans for the construction of dwellings and other buildings or significant structures must be designed, drawn, and certified by an architect, registered and licensed in the State of South Carolina. Each state has a registration board to oversee that state's licensure laws and many states have reciprocity agreements.

Each owner is required to comply with the standards set forth in these guidelines, as well as the Declaration of Covenants and Restrictions for each plat and lot, although exceptions shall be made if local building laws, codes, or ordinances are more restrictive than what is set forth herein. These guidelines may be revised or updated at the discretion of the ARB or Board of Directors without prior notice.

Prince George, the ARB, or its agents may not be held responsible and assume no responsibility for inspecting construction in progress for compliance with the approved plans or building codes. The owner assumes full liability for failure of construction to comply with approved documents.

ARCHITECTURAL STANDARDS

Finished Floor Elevations and Ceiling Heights

Each residence submitted for review shall be analyzed according to site topography and adjacent structures. Traditional/Historic Low Country architecture typically requires a raised appearance. All homesites shall have building pads elevated a minimum of 18 inches above natural grade or to a minimum elevation of 9.0 mean sea level whichever is higher to ensure positive drainage away from the structure. Construction cannot begin until the minimum elevation has been verified. Since some lots may have drainage concerns or low areas, a crown for the building pad or footprint is encouraged. Due to its architectural appropriateness, all homes if constructed on a crawl space or on a raised slab shall have a minimum dimension of four (4'-0") feet from the finished grade to the finished floor. Finished floors lower than four (4'-0") feet are appropriate when the design is an elevated (park underneath) Traditional/Historic Low Country style home. The wall space between the finished grade and the finished floor can have a solid wall, lattice wall or other appropriate treatment approved by the ARB. Oversize foundation vents are appropriate and encouraged and may be functional or faux. Slab on grade construction is not permitted.

The ARB requires that the floor to ceiling height for the first floor be a minimum of ten (10'-0") feet with twelve (12'-0") feet being preferred the second floor will be a minimum nine (9'-0") feet". Interior doors a minimum of eight (8'-0") feet in height and appropriately scaled to the ceiling height. The height of the building must not exceed forty-five (45'-0") feet to the ridge, from garage slab in the flood zone and thirty five (35'-0") feet to midpoint in flood zone X.

Facades Treatments

While variety in facade treatments is encouraged, a strong emphasis should be placed on following traditional tastes in building massing and detailing. The use of wide overhangs and covered porches and entrances is required. Porch depths are recommended to be twelve to fourteen (12'-0" - 14'-0") feet with a minimum of ten (10'-0") feet at the most narrowest point. Symmetry is also encouraged. Primary exterior wall materials shall be wood, beaded edge clapboard, hardie board, or equal materials. Brick, ¾" thick tabby stucco (medium shell – sample must be provided), and shake can also be used as a secondary accent material. There are historical examples where a secondary accent material (such as brick) exists as more than 50% of the houses total façade. The ARB will allow a higher percentage of secondary accent material when a home design is modeled after a historical low-country home. Foundations must have finished materials of all stucco, tabby, or brick. No painted concrete or parged concrete or stone is acceptable. Stone is not considered an indigenous material and is not acceptable. High quality, weather resistant woods such as cedar are encouraged. No vinyl fascia, soffit, frieze, or siding is allowed. Board and batten is limited to an accent feature or outbuildings. Exterior wall material should be limited to a maximum of three to provide a simplistic traditional/historic low country element. Painted concrete foundations are not allowed. All exterior materials must be approved by the ARB.

Pilings

Pilings used for Oceanfront homes, and if used on other homes, shall be boxed out and finished with siding to be compatible with the exterior of the home. The underside of the structure shall be screened from view with wooden one-way or two-way lattice three quarter ($\frac{3}{4}$ ") inch minimum thickness, louvers or other design materials as approved by the ARB. (Louvers shall not be see-thru).

Exterior Colors

All exterior colors shall reflect Traditional/Historic Low Country palettes. Whites, grays, muted or earth-tone colors are recommended for the exterior wall materials with white trim and dark colors suggested for shutters, blinds, and front entry doors. Exterior fascia and trim colors are to be lighter than the main body color, typically white. Dark trim colors are not acceptable. Color schemes should be unique and should not duplicate other color schemes within five lots in any direction with the exception of white. See ARB-10 for storyboard requirements, which should be located near the home. Final approval of colors / materials will be made only upon review of the story board. The storyboard must be installed as early as possible, but no later than the start of framing. All exterior colors must be approved by the ARB.

Windows, Shutters and Awnings

Windows are the “Eyes” of the home. Fenestration or the study of the arrangement of the windows on the façade should be a part of the façade design of low country architecture. A four (4”) mullion spacing between double windows and sills that project enough for a drip kerf is required.

Operable windows are restricted to double hung (TDL) true divided lite or (SDL) simulated divided lite grids and casement windows. Fixed windows: such as round, half-round, transom windows to be allowed on first story, elliptical or other shapes are allowed. GBG (grilles between the glass) are not allowed.

Appropriate trim detail is required on all windows and should be at least four (4”) inches wide lined up over one another. Special attention should be paid to ensure appropriate window trim detail, sizing, and headers. Proper header details of six (6”) inches plus a crown will be required. Casement windows are not permitted except on rear or side elevations.

Glass block windows and single hung windows are not permitted. Glass is to be clear or low E of a minimum tint, reflective, or color glass is acceptable. Allowed window colors are white and black. An appearance of traditional and historical true divided windows or simulated true divided windows or muntins is required. Window glass on all Oceanfront dwellings with direct ocean sight lines will be “turtle glass” with a light transmittance of 45% or less. Manufacturer verification of compliance will be required as part of the materials submittal. Storm windows are not permitted. Exterior window insect screens shall be full and gray but are not required. Only the use of the highest quality wood, vinyl clad, or other approved materials will be permitted.

Historically window pane sizes were small because of manufacturing limitations, hence most double hung windows were 9 over 9 or 6 over 6. The ARB recognizes that modern homes often want to maximize the views and minimize the muntins. A minimum of 4 over 4 windows will be allowed on the house elevations facing public views. Where vistas are present (usually on the rear of the house) larger glass panes will be allowed (ie. 4 over 1). The ARB can make exceptions to these guidelines when appropriate.

Historically shutters were used as shielding devices for windows and doors, providing privacy, shading and protection from intruders and hurricanes. Batten vertical board / rail and stile, paneled shutters were installed to provide a solid barrier when closed. Louvered shutters allow the control of light and air.

Shutter colors are to complement the exterior finish materials and trim on the residence.

Operable, functional shutters appropriately sized to **cover entire window opening are required**, for the front and side windows, as well as the rear windows if visible to public realm. Each shutter being half of the window / door opening with the hardware attached to the frame / window. Working shutter dogs and hinged hardware are required on all shutters. Shutter dogs go below shutter not to the side. Shutter sash to go below window sash. On the submitted plans shutters must be noted as functioning and operable. Hurricane glass windows are highly recommended. Window proportions shall be in keeping with the Traditional/Historic Low Country theme. Raised panel details are encouraged to elongate window appearance when needed. Closed shutter details are encouraged to break up mass of blank walls. Shutter materials to be of wood, wood like composite or aluminum

powder coated Bahama shutters (vinyl is not permitted).

Bi-fold shutters are required on double windows (louvered, panel, Bahama)

Awnings

Canvas awnings were often applied to windows, doors, and porches to provide shade during summer. Awnings should be canvas installed with a shed type awning profile. Installation below header detail. The use of vinyl, aluminum or metal is not allowed. Awnings shall be of fabric cloth that is nonglossy, no vinyl slick material will be allowed. The material shall be of an adequate thickness to create an opaque covering over the support brackets and frame.

The shapes of the awnings are encouraged to complement the architecture of the period and openings of which the awnings will shade. The width of the awnings shall be sized to individual glass openings, not continuous over several windows. Sloped angles are encouraged with sides open. Circle shaped, rounded tops and quarter spheres are discouraged.

Bracket supports should be of period wrought iron or painted to complement the effect of wrought iron. Aluminum clear or silver will not be allowed.

Shutters built of wood, sloped to complement the window are acceptable as another period shading device.

Colors shall coordinate and complement the proposed or present color scheme on the residence. Colors which are vivid, bright, and bold are not allowed. Solid color fabric awnings are encouraged, striped color patterns will be considered provided they are not of high contrast colors but offer sensitivity to eighteenth century color combinations.

Be mindful of the longevity of any fabric being used in Carolina element. Maintenance and or replacement is required.

Samples of the proposed awning color and material shall be submitted. The sample shall be as large as practical to illustrate the fabric color.

Stitching shall be the same color as the fabric. Eyelet lacing will be considered if it is exposed only to the underside.

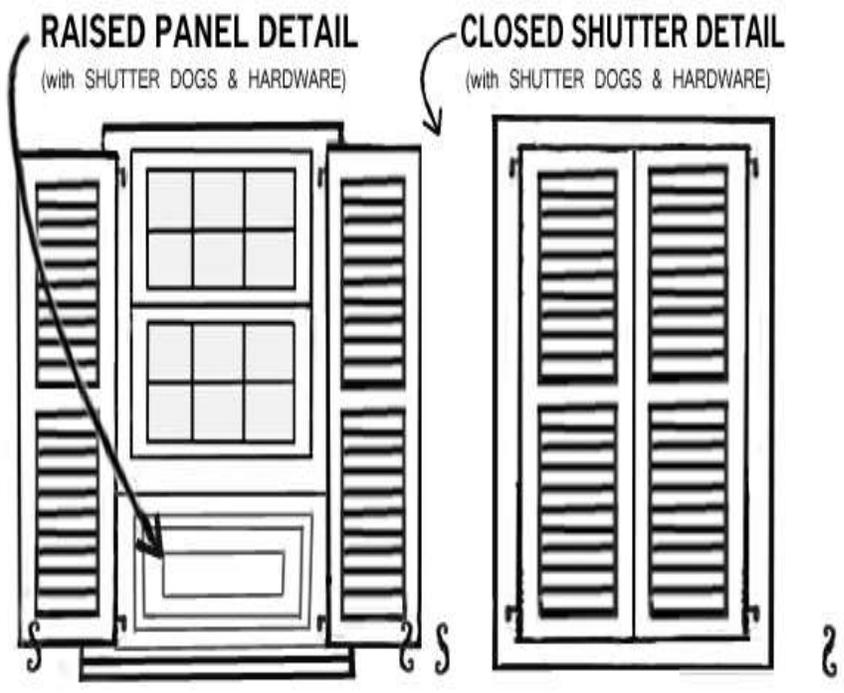
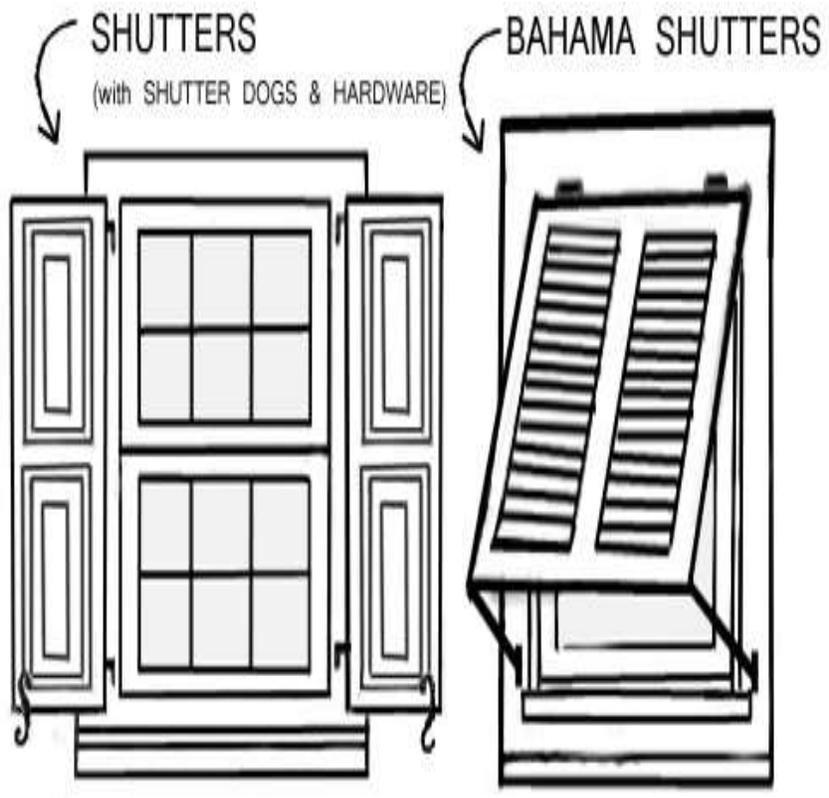
Lighting will be carefully placed due to the glow it creates in the evening under fabric awnings.

Edge patterns are to be clean simple lines, scalloped edges will be considered providing a profile sketch or photograph is submitted to illustrate the fabric design.

Awnings shall be located on the rear façade and positioned such that they are not visible from the street.

Operable hardware such as retractable awnings will be considered only if the housing is detailed and concealed under an overhang or with a wall detail. Mere attachments will not be acceptable. The intent is to integrate it into the architectural features of the residence.

Elevations and drawings shall be submitted showing each opening to be covered with awnings. Elevations shall be of a scale of $\frac{1}{4}'' = 1' - 0''$. All windows, shutters and awnings must be approved by the ARB.



Roofs

In keeping with the Traditional/Historic Low Country theme, the roof appearance is of great importance. The pitch of the main structure should not be less than 8 in 12. Pitches for porches, breezeways and other secondary structures could be less. Hip, gambrel and gable roofs and the use of single dormers are components of the Traditional/Historic Low Country theme. Shed dormers should be appropriately placed if used to the rear or to the side of the home.

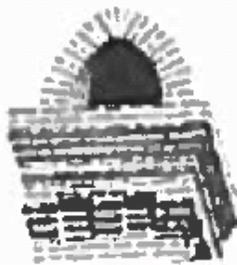
Roof materials in Prince George are restricted to selected fiberglass shingles, standing-seam metal, cedar shakes, slate, or slate-look roofing. Fiberglass shingles with a twenty-five to thirty (25-30) year warranty are required and must be of dimensional style. All roof and chimney flashing are suggested to be copper or metal. Low pitched roof areas (pitch not less than 3.5/12) should be painted metal or copper.

No mansard or flat roofs will be allowed. All roof penetrations, such as gas flues, exhaust vents, plumbing vents, skylights, etc. should be located on the rear roof slopes so that they are not visible from the front and must be a color that is compatible with roof color. Solar panels will be reviewed on a case-by-case basis. No roof shall be dominated by a multitude of panels. Solar panels are not to be visible to the road or adjacent properties. Panels are to be placed with the roof slope and not tilted up. All conduit piping wiring boxes shall be concealed. All frames are to blend with the roof color. Ground mounted panels must be screened so as not to be visible from public realm. Vegetative evergreen plantings at install height of panels are required. Photos of the home and drawings of the proposed placement are required. Additional roof elements or additional landscaping may be required to visually buffer the proposed panels. Solar shingles and photovoltaic metal roof panels will be reviewed on a case-by-case basis. Samples and photos of all alternative solar materials are required. All roofing and any penetrations must be approved by the ARB.

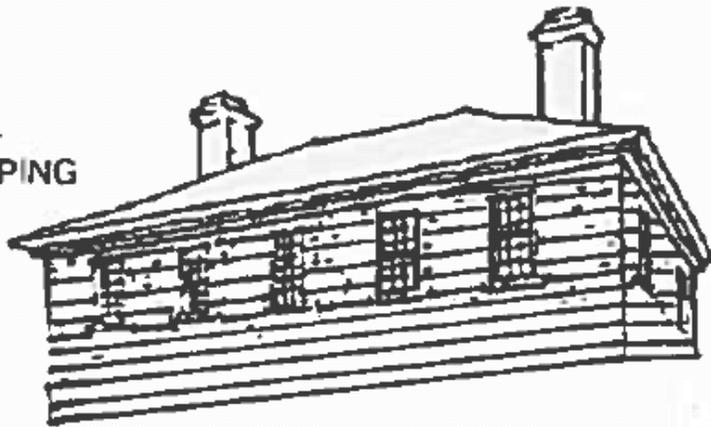
Chimneys and Chimney Covers

Chimneys are an important part of the Traditional/Historic Low Country theme and are required as part of the roof scape. Chimney finishes are restricted to brick, stone, hardie-panel, or stucco over masonry. Chimneys located on the exterior elevations must be built to grade. Decorative, but appropriate, detailing at the chimney peak is required. Faux chimneys may be required, as necessary. Chimney covers or caps are required. Chimney covers are suggested to be copper, metal or brick. Metal fireboxes are not permitted unless encased in masonry surrounds. All chimneys and chimney covers must be approved by the ARB.

CHIMNEY COVERS



SYMMETRICAL CHIMNEY GROUPING



Exterior Doors

Exterior doors should be appropriate to the Traditional/Historic Low Country theme. All doors, including sliding doors, shall be solid wood, fiberglass, or other approved material. Front entry doors make a strong architectural statement and are subject to extra scrutiny by the ARB. Stained, etched or leaded glass is permitted in doors or side lights. Exterior sliding doors and full screen storm doors are permitted only on rear elevations and should not be visible from the front. Storm and screen doors are not permitted unless they are of the appearance of a typical exterior door, or they are fully louvered wood doors. Submit photos or cut sheets of the exterior doors to the ARB. All exterior doors, including garage doors, must be approved by the ARB.

Porches, Columns, Handrails, Verandas, and Decks

Porches, verandas, decks, and patios are to be designed as extensions of indoor rooms. Design porches and decks to take advantage of natural ventilation opportunities. Porches and covered entries integral with the design of the home were prevalent in the Traditional/Historic Low Country setting. Porches should be designed with columns and handrails much like those used for an open porch with screen inserts compatible with Traditional/Historic Low Country Architecture. The porch depth is a minimum ten (10'-0") feet at the narrowest point. Ten (10'-0") feet inside measured railing to the finished wall. Covered screen porches or verandas should be on the sides or rear and appear as an open porch. Screened enclosures are not permitted on the front of a home. Glass panel inserts may also be used when designed in accordance with typical window treatment and will be reviewed on an individual basis. The railing profile must be submitted to the ARB for review and approval.

Cornices and Exterior Trim

The use of traditional crown molding and detailing at eaves, cornices, windows, doors, decks, and exterior porch railings is an important part of an overall appearance of quality appropriate to Prince George. Such detailing must be consistent on all elevations. Wood, Synboard or paintable cellular PVC is allowed. Required window and door header detail is required to be submitted with the review application. Corner boards are required to be six (6") inches. Fascia and frieze board are required to be a minimum of eight (8") inches. No vinyl molding or detailing is allowed. All exterior trim must be approved by the ARB. Stainless nails, screws door and shutter hardware and any miscellaneous fasteners are required on Oceanside homes.

House Identification

The identification or street address is assigned by the local post office. Identification numbers may be used on the home but are restricted to design, size, color, and location that have been previously approved by the ARB (standards). Numbers should be made of metal and black in color. The mailbox and mailbox post will be provided and installed by Prince George. Any signage is restricted to Prince George signage only.

Exterior Lighting

Exterior lighting design, size and color should complement the character of the Traditional/Historic Low Country style. An entry light should do more than help you find your way in the dark and avoid obstacles; it should command your attention and invite you and your guests onto your porch. The size of your porch light should balance with the size of your entry door. The number of lamp posts that are allowed will depend on the site layout of each individual lot. Lamp posts should be a maximum of 6 feet in height and should also complement the style of your home. Traditional gas lamps designed for propane as a source and semi-custom to custom handmade copper exterior lights are also encouraged.

Outdoor security light fixtures should be mounted as close to grade as practical and are to be hooded or pointed downward so as not to disturb neighboring properties and occupants. (Consideration should be taken of the intensity of the lighting, suggest using softer yellow light 2700-3000K) Down lighting is required on overhang or wall mounted fixture to reduce glare and also to assure that neighboring properties are protected from bright light sources. However, in no case shall exterior lighting cause a nuisance by creating a bright point source of light. Corner soffit security lights should not be turned on nightly, but in case of emergency situations ONLY. These should not be considered part of the landscaping or home accent lighting. Oceanfront homesites are required to use specific lighting for the protection of sea turtles and turtle nesting areas.

Landscape, special effects and accent or up lighting is allowed in moderation. Landscape lights should match color temperature to the home and be indirect in nature. Solar lights typically do not achieve this. The use of colored lights is not permitted except for seasonal displays and on a limited basis.

All exterior lights on the home should also match regarding color temperature and carry continuity. An appropriate color temperature should be established based on the exterior colors of the home, but typically a choice between 2700-3000 is the correct direction. Anything higher emits a bluish white tone and is not appealing in a high-end residential setting.

All exterior home lighting should be on timers, dimmers, and same wattage.

All exterior lighting should have even beam spread and light wash on the subject matter.

Submit photos or cut sheet for approval to the ARB.

All exterior lighting must be approved by the ARB.

Landscaping

The ARB requires that a registered landscape architect licensed in the State of South Carolina design and prepare Site Plans, Construction Documents and Site Details for residences to be built in Prince George. A successful Landscape Plan for your home should be one that eliminates time-consuming maintenance. Pruning should be done with a “light hand” to avoid an overly manicured appearance. The traditional character of Prince George is based on historic plantations of the low country, and we want to perpetuate that feel with only the most thoughtful and benign intrusions by man.

One of the most important aspects of a successful Site Plan is the landscape budget. Money spent on the landscape budget will increase the value and appeal of your new home. A good guide for budgeting purposes would be 10% of the project construction cost.

Plants for screening should be of appropriate and sufficient size minimum five (5’0”) feet installed and spaced to present an established appearance at the time of installation and to ensure an adequate buffer within a year’s growing season. Foundation plantings, likewise, should be able to screen any crawl space under dwellings or decks and be no less than three (3’-0”) feet installed height on homes not elevated and six (6’-0”) feet installed height on an elevated home at the time of installation. Variable height and a layered effect around the foundation is preferred. Plant materials should complement native species and be compatible with existing environmental and ecological conditions. The cutting of forest understory may be done to open up views to marsh and wetlands but should be kept to a minimum leaving vegetation for buffering, privacy, and landscape definition. Trees and or shrubs removed for utility installation must be completely re-naturalized to minimize the appearance of the utilities. The cutting of forest canopy is prohibited, except for removal of dead branches and straggly material for maintenance and to follow the community FireWise guidelines. Pine trees can be removed if they are of immediate danger to the home. In cases where an understory is not present, the addition of small flowering trees, grouped in clusters, should be considered. Cutting and limbing up of native trees or shrubs should be minimal except to remove dead or damaged wood or adhere with the FireWise community guidelines.

The landscaping approach should concentrate your planting efforts adjacent to the home, along the driveway and at the main driveway entrance from the street. Ornamental plants, if used correctly, will provide a transition, from the natural character of the site to the man-made structure of the home. For maximum appeal, try to mix textures and colors, but keep the plan simple. A better effect can be achieved from using quantities of a few species rather than a few plants of many species and selecting the correct plant for the location to minimize future maintenance requirements.

The plant palette should emphasize the use of native, naturalized and ecologically appropriate horticultural varieties. Hardiness, drought tolerance and non-invasive characteristics should be sought. Plants capable of adapting to seasonal moisture fluctuations are preferred over those requiring large volumes of water. Be sure to consider deer tolerance when choosing plant materials. Mulch is to be natural and not colored or dyed. Stone is not an acceptable material for plant beds.

It is especially important to inventory the existing trees and study the site drainage when positioning the proposed home on the property for the best possible effect. Please consult the guidelines for grading requirements. Tree removal must be in accordance with the Georgetown

County Tree Ordinance. As you consider your landscaping plan you should have a minimum fifty (50'-0") feet clearance around your home; however, special provisions apply to protected oak trees. Removal of trees within the home site area that may cause damage to the home is allowed. Other large dead, diseased, infectious, or hazardous trees may be removed. Any protected healthy oak tree outside the building area must have ARB approval prior to removal of the tree. In the event of a natural disaster such as a tornado, hurricane, storm, or flood, any damaged trees may be removed immediately. Review requirements with your landscape architect to maintain good fire prevention practices.

Landscape plans are required to be submitted as part of the construction package approval. These plans will be approved / not approved on a conditional basis and final approval will not be granted until the final inspection. The ARB has authority to make changes and / or require homeowners to add to the installed landscaping before granting final approval and refunding of any refundable deposits.

The Landscape Plan must be approved by the ARB.

Under brushing is encouraged on all properties. **We are a Fire Wise Community.**

Vegetable Gardens

Vegetable gardens often attract wildlife, including deer, hogs, rabbits, rodents, etc. and may be the source of pest infestations. For that reason, vegetable gardens are discouraged and will require ARB approval. If approved, the vegetable garden must not exceed the square footage maximum as determined on a case-by-case basis, must be located within an approved fenced portion of the rear yard, must not be viewable from the front and plants must not exceed 4 feet in height at full maturity. All vegetable gardens must be maintained in a neat condition and all plant debris must be removed at the end of the growing season.

Outbuildings

Garages, guest houses, playhouses, garden sheds and gazebos are examples of allowed outbuildings. Building materials should reflect those of the main house. The design and location of any Outbuilding is essential to the relationship of the main house and must be within the setback limits. Wherever possible, structures should be oriented so that access is indirect, and openings do not directly face the street. Detached carports are not allowed.

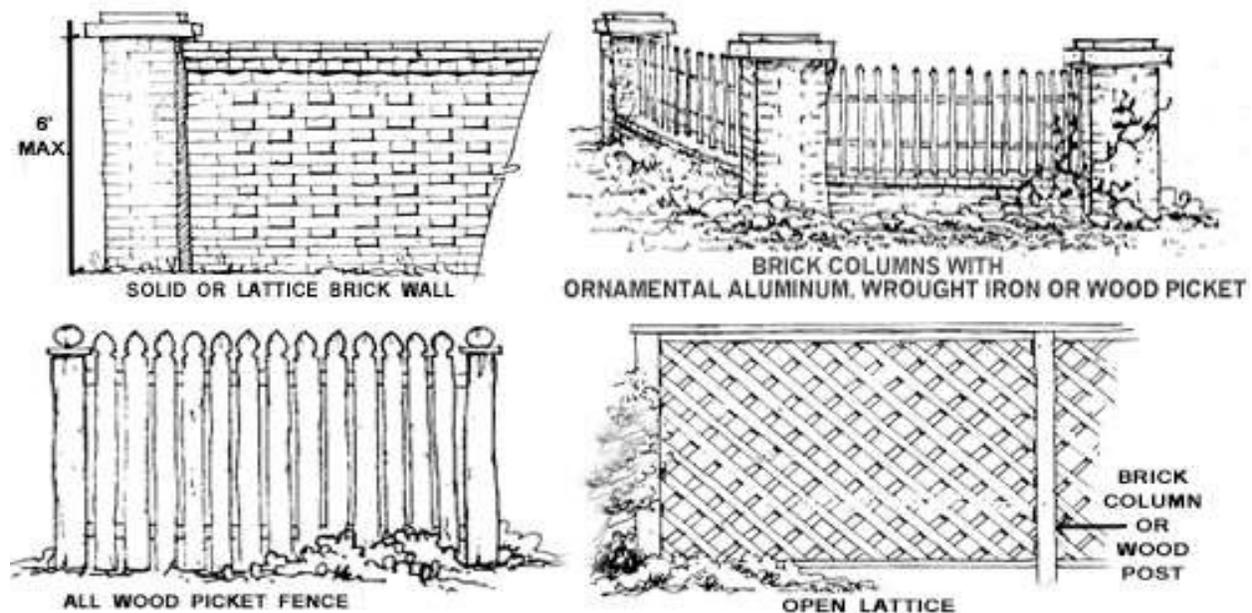
Guest houses shall be for the sole use of the homeowner and for temporary guests or visitors. Rental of the guest house is prohibited, except as part of the main dwelling when the main dwelling is used for long term rental. Only one permanent residence per lot is allowed according to the Declaration of Covenants and Restrictions for Prince George and must be in compliance with the Georgetown County Planning and Zoning Department. Guest houses must be consistent and scaled to the main house and the recommended maximum of 1,000 heated square feet, exclusive of garages. Guest houses must be approved by the ARB. Bicycles, golf carts, boats, trailers, campers, recreational vehicles, etc. should be in an enclosed area, screened from view or stored in the Prince George boat storage area. The use of bicycles and golf carts is encouraged in Prince George. All Outbuildings must be approved by the ARB.

Fences and Walls

Fences can be useful design elements to screen utility areas or other objectionable site elements, stand as a planting backdrop, provide privacy for outdoor spaces, reduce wind, and identify and emphasize entries. Fences, gates, and walls should be of comparable design and color to the home. The design should allow for some air passage. Fences should not be located where they block views of other property owners. Six feet is the maximum height. All fences on the wetland/marsh edge are subject to the required thirty-five (35'-0") feet setback for all wetland/marsh edges and any other setbacks.

The fence, gate or wall should attempt to define and create identifiable areas or spaces. Use of a fence or wall as a property line delineator is not allowed. No fences allowed into lakes or ponds. Plantings should be used to soften the fence/wall and its location should be unobtrusive from the road and surrounding properties. Low retaining walls may be used on the street side of the site when necessary.

The style and design of walls and fences in the Traditional/Historic Low Country style varied as much as the architecture. Fence elevations should not extend beyond the front elevation of home. Wrought iron, ornamental aluminum, wood and brick used in combination or individually are the materials most appropriate. Fences are not to be located either on the setback lines or property lines and must not encroach on any setbacks. No double fences. Vinyl fencing is reviewed on a case-by-case basis. The use of an electric deer fence is prohibited. All fences or walls must be approved by ARB.



Pools, Fountains, Tennis Courts, Docks and Other

Due to the potential disruption of natural features, the ARB will review all proposed pools located in the buildable area on an individual basis. All pools, equipment and pumps must be screened from the adjacent property. Pool houses, enclosures and equipment enclosures must complement or relate architecturally to the home and other structures in their placement, materials, and detailing. Pool LED lighting to be white or blue. No above ground pools or inflatable bubble covers will be allowed. Pool fence shall be allowed per code compliance and must be designed to complement the home. The pool and fence must be located within the buildable area. Pool area is counted as disturbed area and cannot occur within setbacks, buffers, or easements.

The cooling effect of fountains can be a pleasant element in any garden. The site, shape and siting must be compatible with its natural surroundings and man-made structures. Fountain size (HP), spray height / pattern will be, in part, determined by the pond size and proposed fountain location in the pond. Maximum 2 HP pump with a crown and geyser spray pattern and maximum height of fifteen (15'-0") feet. In the event there is an existing home(s) that shares / borders on the pond where the fountain is requested to be placed, the other homeowner(s) will be consulted, and their views will be taken into consideration before a final decision is made by the ARB. Unless an exception is requested and approved in advance for a special occasion, fountain hours are from dawn to 11:00PM. Fountains may not be operated from 11:00PM to dawn the next morning. White lights are the only approved color. If there is an existing fountain in the general proximity of the requested fountain, its size, spray pattern and height will be a factor.

The placement of pet enclosures, playground equipment, including swing sets, basketball goals, trampolines, and similar items must blend with surroundings and must not be viewable from the front.

A temporary flagpole staff which does not exceed six (6'-0") feet in length and is attached at an incline to the wall, column or pillar of the dwelling is allowed. Flags cannot measure more than three (3'-0") feet by five (5'-0") feet. No freestanding flagpoles are permitted.

The size and location of statues, sculptures and yard art must be appropriate and not be unpleasant to neighbors.

All of the above items and locations are subject to review by the ARB on a case-by-case basis.

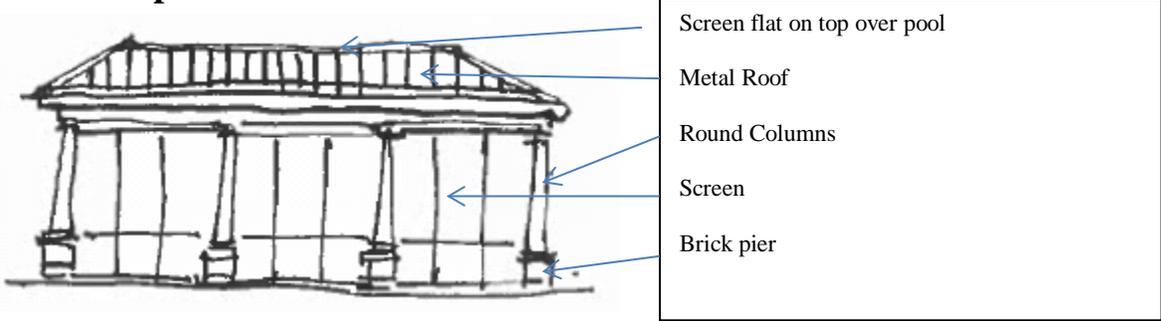
Tennis facilities are available to every resident at the Ocean Clubhouse in Prince George. Individual courts within a single-family lot must be approved by the ARB. Tennis courts are for daytime use only. Nighttime tennis courts not allowed.

Docks must meet the size, design, material, and location requirements. Only natural treated clear or unpainted wood is allowed. The minimum size is eight by eight (8'-0") by (8'-0") feet and the maximum size is twelve by sixteen (12'-0") by (16'-0") feet. Roofs or covers are not allowed. Since docks are constructed partially on common areas all easements will apply. In the event there is any repair, maintenance, or other Prince George Community Association reason to access the lake bank, the dock may be subject to removal at the request of the Prince George if determined to be necessary to utilize these easements. If the dock is removed or damaged, all repair or replacement cost will be the sole responsibility of the homeowner. All docks must be approved by the ARB.

SAMPLE DOCK



Sample Pool Enclosure



Entry Columns, Driveways, Garage Parking and Exterior Parking

Entry Columns must be a minimum of twenty-four (24") inches in width. The height of the Entry Columns may vary but will need to be properly proportioned with the home. Entry Columns are to be located within the property lines and not in the right of way. Specifications (size, quality, materials) for the columns, lighting or finials must be included with the preliminary and final review submission. Weather tolerant, quality made lighting fixtures should be considered carefully. Salt accelerates deterioration of poorly constructed fixtures (copper, powdered coated or other quality materials are strongly suggested).

Driveways must be of a pervious surface (preferred) or of a hard surface such as concrete, brick, stone, asphalt, or concrete pavers or shall be constructed of crushed stone, shells or other aggregates approved by the ARB. The driveway must be or should be curved (meander) wherever possible. Gravel, shells, or other similar loose aggregates, if used must be contained by a fixed appropriate solid border or permanent edge such as ¼" metal edging or a "doubled boarded" 1x4 or 1x6 treated wood border. Driveway must not drain into the public street.

The driveway apron will transition from the road edge using concrete, brick, stone, or asphalt with concrete curbing, decorative edging, or material different from the main driveway. Regardless of surface type, the driveway should be ten to twelve (10'-0" -12'0") feet wide and should meet the street with a ten (10'-0") feet radius at each corner. The required width for the driveway apron is thirty-five (35'-0") feet at the road edge and twelve (12'-0") feet at the property line.

The recommended driveway apron depth is fifteen to twenty-five (15'-0") – (25'-0") feet and must be an acceptable hard surface.

Circular drives will be reviewed on a case-by-case basis. The location of the driveway should be beyond road access.

Driveway must be within the buildable area and cannot encroach in other setback lines.

Driveway location should take into consideration of existing driveways on neighboring properties. All of the above items and locations must be approved by the ARB.

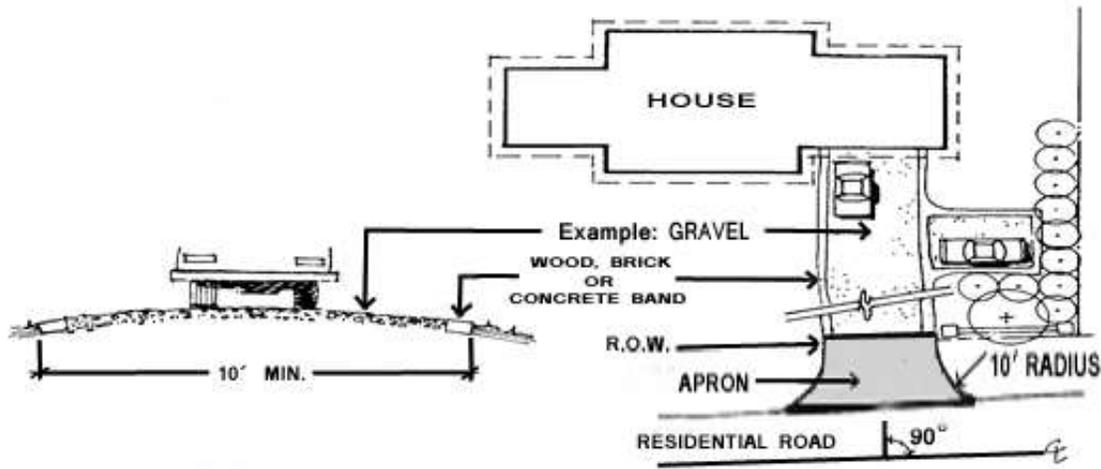
Hard surfaces are only allowed within the building envelope for sidewalks, patios, driveways, driveway aprons and parking areas. Porous surfaces are also allowed for some areas.

Garage opening must be a minimum of nine (9'-0") feet or greater. ARB suggests ten (10'-0") feet to accommodate for larger SUV vehicles.

Parking areas must be adequate for one owner and for a minimum of two guest cars without stacking and must be screened from the street with walls, fencing or evergreen planting.

Only one driveway access is permitted for each lot. If requested, special consideration will be given for additional access.

The driveway and parking design should also consider the area required for large trucks to enter and exit your property. Surfaces must be approved by the ARB.



Acceptable surfaces include:

A. Hard Surfaces

1. Concrete (including Concrete Pavers)
 - a. Tabby surface
 - b. Heavy broom finish
 - c. Scored
2. Brick (including Brick Pavers)
3. Stone
4. Asphalt
5. Tar and chip macadam

B. Porous Surfaces (must be edged)

1. Turf grid
2. Pea gravel
3. Limestone/Crushed granite / Crushed shell

Utilities

Replanting is required to restore the natural appearance for areas cleared for underground utility services such as water, sewer, electric, cable, telephone, and temporary driveways.

Sewer and Water: All residences within Prince George are served by underground water and sewer systems controlled by Georgetown County Water and Sewer Authority. All single-family residences are required to tap onto to these systems at taps provided for each lot. Sewer clean outs should be painted to blend and not exceed three (3") inches above grade.

Electric, Telephone, Cable, and Dish/Antennas: Utilities are underground to each individual lot. All utilities to the home and any outbuildings are also required to be underground. The location of TV antennas of any type, satellite dishes (up to eighteen (18") inches and any other electronic hardware or receiving devices must be screened and not be visible from the road. All electrical meters and other similar devices attached to the exterior of a building should be painted to blend with the siding or trim. All such utilities or devices must be approved by the ARB.

Utilities to be located within the service court area near the home and within the buildable area.

Irrigation and Wells: If a lake source pump is used for irrigation purposes, a separate well must be installed to return or replenish an appropriate amount of water to the lake. Returns from the lake must be dark in color or painted. Any lake source pump or well should be included in the preliminary review of the owner's plans. All irrigation pumps and well pumps must be out of view from the street and be covered with an appropriate structure with materials to reflect the home's building material or screened with appropriate landscaping. Irrigation is required, however, and should be limited to areas adjacent to buildings, landscape plantings and lawn areas. All irrigation and wells must be approved by the ARB.

Heating and Air Conditioning: Electric heat pumps for heating and air conditioning are commonly used in this climate. Units should be located in inconspicuous places on the sides or back of the home and are required to be screened with a minimum four (4'-0") foot wall or of material similar to the home facades or landscaping. Units should always be placed within the building setbacks. Window air conditioning or heating units are not permitted.

Generators: Care must be taken when deciding where to place a generator. Consider the proximity to the electric meter and the generator enclosure. Generators are required to be screened with a minimum four (4'-0") foot fence, wall or of material similar to the home facades or landscaping. The generator should be located in a well-ventilated area away from air intakes into the home and in an area that, when in use, would have the least amount of impact on neighbors.

Gas Tanks: Gas tanks must be buried underground; Gas tanks must be located within the setback lines. Access to refill location should be considered.

Alarm Systems: Both fire and security systems are required for all property owners. All systems shall be monitored and shall be registered with and tied to local emergency services.

Trellises, Arbors and Gazebos

These functional structures can also be very pleasing landscape elements which fit well into the Traditional/Historic Low Country theme. It is important to view these as permanent structures and design them to withstand the test of time.

Decks and Terraces

Decks and terraces should be designed to be an extension of the architecture and provide a transition from the home to the natural surroundings. Grading shall be kept to a minimum.

Trash Receptacles

Trash receptacles must be stored out of view, near the home. Trash receptacles shall be roll out carts, as provided by the collector. Trash and refuse shall be disposed of off Prince George property. Roll out carts shall be placed at the street no more than twenty-four (24) hours prior to collection day and must be removed from the street within twenty-four (24) hours after collection. Recycling is encouraged.

Beehives

1. ARB approval is required to maintain a colony of bees and the beehive must meet all of the following criteria:
 - a. The bees are not used for commercial purposes.
 - b. The beehive cannot be placed on Prince George common area.
 - c. The beehive must be located in the rear or rear side yard and cannot be placed any closer than twenty-five (25'-0") feet to all lot lines.
 - d. The landing platform must face toward the interior of the lot, not towards a lot line.
 - e. No more than two (2) beehives are allowed per lot.
 - f. The beehive base dimension shall not exceed twenty (20") inches by eighteen (18") inches and its height (including a platform and cap) shall not exceed forty-eight (48") inches.
 - g. The beehive color shall be white or green because it disappears in the foliage.
2. The beehive must comply with all state and local regulations.
3. The ARB and all neighbors that share a common lot line must be notified of your intent to install a beehive on your property. A severe **allergic** reaction (anaphylaxis) to bee stings for some people is potentially life-threatening and requires emergency treatment.
4. The ARB has the right to prohibit any beehive based on the lot size and location which is subject to approval by the ARB on a case-by-case basis.

Helicopters and Helipads

The Board of Directors of the Prince George Community Association has the right to prohibit, approve or restrict the use of any helicopter based on the lot size, location, and type or size of the helicopter or other considerations it deems appropriate. Helicopters will not be allowed on any property unless the approach can be made without flying over any Common Properties or any other property located in Prince George. All requests for landing on any Prince George property will require approval from the Board of Directors on a case-by-case basis, including but not limited to the lot size, location, and design. ARB approval is required to construct a helipad.

Pilots shall operate the helicopter in accordance with the **Fly Neighborly Program** published by the Helicopter Association International and in accordance all federal, state, and local regulations.

Lake Aerators

The Architectural Review Board of the Prince George Community Association has the right to prohibit, approve or restrict the use of any lake aerators, including surface fountains or bottom diffusers, on a case-by-case basis. Fountain size (HP), spray height / pattern will be, in part, determined by the pond size and proposed fountain location in the pond. Maximum 2 HP pump with a crown and geyser spray pattern and maximum height of fifteen (15'-0") feet. In the event there is an existing home(s) that shares / borders on the pond where the fountain is requested to be placed, the other homeowner(s) will be consulted, and their views will be taken into consideration before a final decision is made by the ARB. Unless an exception is requested and approved in advance for a special occasion, fountain hours are from dawn to 11:00 PM. Fountains may not be operated from 11:00 PM to dawn then next morning. White lights are the only approved color. If there is an existing fountain in the general proximity of the requested fountain, its size, spray pattern and height will be a factor.

Common Areas

All common areas are controlled and maintained by the Prince George Community Association for the benefit of the community as a whole. Improvements or modifications to these areas are not allowed without the review and approval of the Board of Directors and the ARB. The Board of Directors has the right to manage the use of all common areas and if there is a negative effect of the community or a negative impact on any neighbors, usage may be limited or prohibited.

Lot Maintenance

As a "Fire Wise Community", property owners are strongly encouraged to routinely review their lots and remove all downed, damaged, or leaning trees which pose a fire / safety hazard or are unsightly. Debris may not be accumulated or piled on any lot. Periodically, the ARB / Grounds & Maintenance Committee will survey lots (developed and undeveloped) and notify property owners of tree(s) and debris that needs removal. After notification, and absent an ARB approved time extension, failure to address identified condition(s) within 90 days will result in the Association contracting to have such work performed and billing the property owner for the actual cost of this work.

Failure by the property owner to reimburse the Association (within 60 days after receipt of the bill for such work) will result in a penalty assessed to the property owner. (Refer to Appendices, Form ARB 8, "ARB Review Fees, Deposits and Fine Schedule").

Site Planning

Great care has been taken in the planning of Prince George. All improvements that have been made were thoughtfully planned to minimize alteration to the land and impact to the ecosystems. This same approach must be followed by individual homesites as well. The following specific criteria and guidelines are outlined to accomplish this end.

Site mobilization Plan – (1" = 20'-0" minimum scale), include tree protection fencing, silt fence location, and utility trench and re-planting notation. Silt fencing must be installed at wetlands, ponds and lake edges prior to any work taking place.

A Plot Plan or Site Plan of the lot should be used by the owner, architect, and landscape architect to make a proper site evaluation in accordance with the site planning guidelines. The site/tree/topographic survey shall verify the corner pins of the property, wetland boundaries, if applicable, and provide grade contours at one-foot intervals as well as spot elevations. It must also show the location and species of all trees 8" DBH or larger within 200 feet of the area surrounding the home site and driveway as well as the location and identification of any special features of the lot. DBH is defined as Diameter Breast Height @ 4'6". In addition, all setbacks (including Type I and Type II wetland buffers) must be shown.

Trees to be removed must be clearly marked and noted on a site plan. Prior to the pre-construction on-site conference, the homeowner, builder and landscape architect must flag all trees to be removed that are not within the drive and building pad. Hard copy photographs are required to be submitted for review at the pre-construction on-site meeting. All other trees which will remain on the lot must not have any type of flagging.

Setback and fill requirements

During the site planning pay particular attention to the finish site grading, site drainage, property setbacks, home positioning, future pools, and fencing. Consider master plan of property for future building.

All site improvements shall be designed and implemented in accordance with the Georgetown County Tree Ordinance and other sections within these guidelines and the Declaration of Covenants and Restrictions. In 2010 the S.C. Forestry Commission evaluated the Prince George property for wildfire risk. Landscape professionals need to be aware of the Georgetown County Tree Regulations, especially in an overlay zone.

Go to (http://www.georgetowncountysc.org/Zoning/docs/zo_a13.pdf) for Tree Regulations.

We have been implementing their recommendations and are proud to say we are a **Fire Wise Community**.

Site Evaluation & Building Site Selection

The site/tree/topographic survey will be the most important tool in developing a satisfactory plan. Use the plat (obtained from the surveyor) and information gathered by the Landscape Architect to prepare the Landscape and Building Site Plan with careful thought as to what you envision the final product to be.

A particular approach to siting and landscaping your home will depend on the property location. Examples for consideration of the site evaluation should include the following:

1. Existing and neighboring plant material
2. Drainage patterns on or near the site
3. Neighboring houses, streets, etc.
4. Views and orientations in all directions to and from the site
5. Location of doors, windows, stairs, etc. on the house
6. Location of outbuildings
7. Location of driveway and parking areas
8. Setbacks and wetland buffers
9. Clearing limits and Fire Wise guidelines
10. Lakes
11. Access to utilities

Construction Preparation

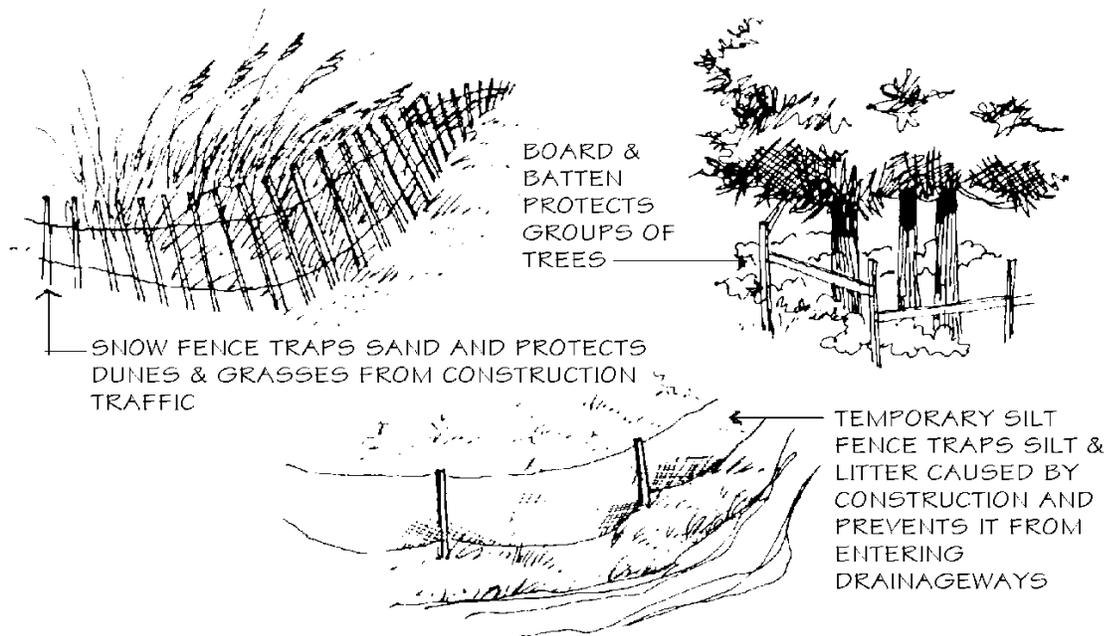
It is important for every site to use protective measures during construction. Existing grades, drainage and vegetation need some form of protection. Your contractor will be aware of specific regulations governing construction work and keeping the site presentable.

First, after determining the site or location of the home on the lot, limits of construction should be established. Particularly sensitive areas should be protected with strategically placed construction fences to protect equipment and materials from damaging plant life. A preconstruction discussion with your contractor on site can be valuable for reducing needless damage and removal of the topography and vegetation.

Damage or removal of any trees during construction, other than those specifically sanctioned by the ARB, is a violation and all appropriate measures to rectify the situation will be invoked in such cases.

See ARB-11 for the construction entrance requirements which must be installed and maintained throughout the entire construction process.

Silt fencing must be installed and maintained throughout the entire construction process.



Wetland Buffers

A thirty-five (35'-0") foot buffer has been established along all wetlands in Prince George. The buffers have been established as part of the Declaration of Covenants and Restrictions for each lot and will be recorded as part of the deed. Two different classifications of upland buffers have been indicated on the wetland master plan. An upland buffer is a strip of land along the edge of wetland areas to remain undisturbed with all existing vegetation. Clearing restrictions within the two wetland buffer types are as follows:

Wetland Buffer Type I

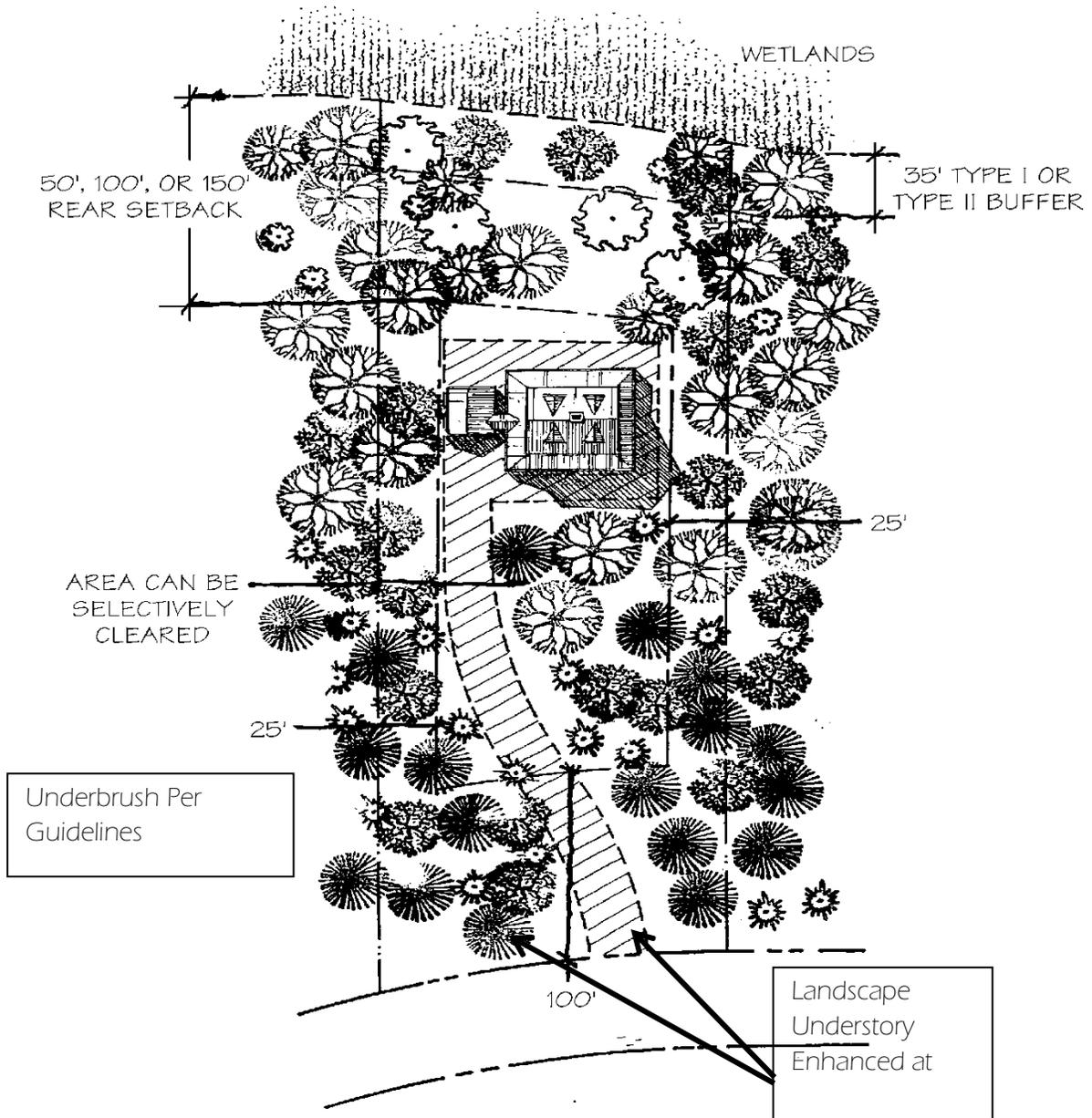
This wetland buffer type will remain undisturbed in its natural state except for a single path or boardwalk from each individual lot, removal of unsafe, dead, or diseased trees, and passive management activities beneficial to wildlife.

Wetland Buffer II

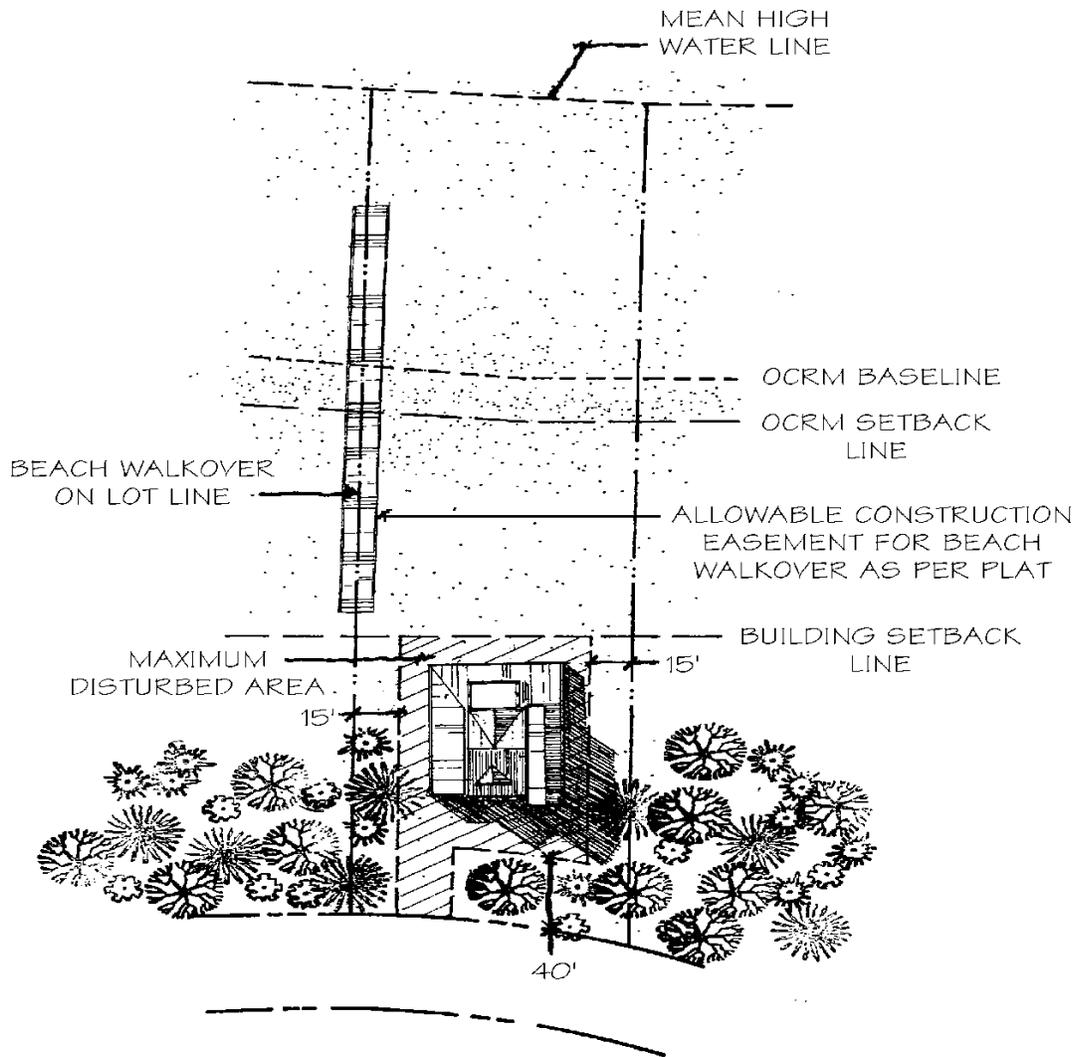
This wetland buffer type will allow some removal of sub-canopy vegetation and limited pruning to create view corridors for individual residences. Selective clearing to allow views shall be acceptable, only upon approval by the ARB. Specific limitations within this wetland buffer are as follows:

1. As required by the ARB, a tree survey locating all trees 8" DBH or larger within 200 feet of the area surrounding the home site and driveway.
2. Trees more than eight (8") inches DBH may not be removed, unless approved.
3. On those lots where no trees larger than eight (8") inches DBH exist and the existing tree population consists of dense saplings, no more than 50% of the total trees may be removed.
4. Dead, diseased, infectious, or hazardous trees may be removed by the homeowner subject to inspection or confirmation by the ARB. A local arborist may also be consulted.
5. If the removal of the tree is necessary to maintain the appearance, health, or vigor of the remaining trees.
6. A three-foot-wide unpaved path or elevated boardwalk may be constructed to the wetland boundary on each lot.
7. Removal of any unauthorized tree will result in a fine and will require mitigation of like kind and size.
8. Refer to the recorded plat from Georgetown County to verify buffers and setbacks.

Wetland Buffer Homesites



Oceanfront Homesites



Grading and Drainage

In keeping with the development goals of Prince George, site grading shall be kept to a minimum, necessary drainage systems shall be designed for minimum impact and alteration of natural drainage systems shall be avoided. Alternative drainage solutions may be required to facilitate or mitigate the natural drainage while minimizing impact. There is a drainage plan in effect for the entire Prince George development. The drainage system for each lot should take this plan into consideration.

Adequate fill dirt should also be used on lots where other methods will not eliminate standing water since some lots may have drainage concerns or low areas. A crown for the building footprint is encouraged; however, no site should be designed to displace water onto an adjacent lot. All drainage systems shall be designed to prevent standing water. Reinforced concrete pipes should be used in locations where a swale would result in standing water. The pipe should be sized as appropriate for the volume of water that is expected. Drainage should be reviewed to a point of natural outfall and any proposed drainage, culverts or pipes must be submitted to the ARB for approval. Under no circumstance are you allowed to alter the natural grade around ponds.

Drainage easements have been incorporated into the layout of many lots. Any permanent structures that are built in these easements, whether approved by the ARB or not, are subject to possible removal at the request of the Prince George Community Association if determined to be necessary to utilize these easements. These easements are described in the Declaration of Covenants and Restriction or are shown on applicable plats.

Retaining walls may be used to reduce areas needing grading or to preserve vegetation; however, this element must reflect the architecture of the home and be well integrated into the site. Paving, buildings, and drainage systems should preserve natural grade, runoff, and vegetation. Erosion and siltation control provisions shall be employed during and after construction. Surface drainage must be collected on site and not cause damage to adjacent properties as the result of construction.

Improvements and Maintenance Guidelines

The Architectural Review Board guidelines are created to develop and maintain Prince George as an exclusive single family residential community of the highest quality while retaining its natural unspoiled beauty. To this end, restrictive uses and limitations on some activities are in force. For a full outline of restrictions, please refer to the Declaration of Covenants and Restrictions for Prince George.

For existing homes, see the Construction Compliance Guidelines section - Minor Changes and Major Additions or Renovations Review. Improvements such as minor changes, additions or renovations must be submitted to and approved by the ARB; however, some minor changes may not be subject to review fees. Any major projects that require a building permit will also require both a deposit and a fee. Forms ARB - 7 and ARB - 5 must be completed and submitted to the ARB along with payment of any required deposit or fee. Contact the ARB with questions.

All homesites must be maintained in a sightly and well-kept condition. This includes the exterior of buildings, lawns and/or landscaping. Open or exposed storage, particularly junk or abandoned items of personal property, is not allowed.

APPROVAL PROCESS AND PROCEDURES

Pre-Application Research

The ARB is comprised of a chairperson who is a member of the Prince George Board of Directors and four members appointed by the ARB Chairperson or the Prince George Board of Directors. The ARB meets on the first Tuesday of each month and reviews information submitted at least ten (10) days prior to the next scheduled meeting. If desired, a representative will be available for an initial conference with the owner and their design team.

The owner(s), architect, landscape architect and contractor are strongly encouraged to visit Prince George for an onsite tour prior to beginning preliminary design plans. Each should have a clear understanding of the following documents:

1. Declaration of Covenants and Restrictions for Prince George
2. Architectural Review Board Guidelines for Prince George
3. Applicable Georgetown County Ordinances and Fees
4. Applicable Local and State Building codes
5. Midway Fire District Ordinances

Site Analysis

The initial submittal to the ARB, whether for conceptual, preliminary, or final review must be prepared by an Architect, which includes an Architect title page and accompanied by a site analysis as evidence of on-site observations regarding site restrictions and compatibility with surrounding structures, including height, massing, proportions, and proposed exterior finishes and colors.

Review Fees

The owner should furnish any applicable forms, the appropriate non-refundable Review Fees, and all other documents to:

**Prince George Architectural Review Board
c/o Waccamaw Management LLC, AAMC
6500 Ocean Hwy
Pawleys Island, SC 29585**

**Make checks payable to:
Prince George Community Association, Inc.**

All Review fees are subject to change without prior notice and are as follows:

New Construction

- | | |
|-----------------------|-----------|
| 1. Conceptual Review | No Charge |
| 2. Preliminary Review | \$500 |
| 3. Final Review | \$1,000 |

Existing Homes

- | | |
|---|---------|
| 4. Minor Renovations Review | \$500 |
| 5. Major Additions and Renovations Review | \$1,000 |

Conceptual Review - No Charge

To facilitate the preliminary architectural review process and approval, it is required that the architect or property owner prepare and informally submit a conceptual design and sketch of the proposed building design and site layout to the Architectural Review Board for general comments and suggestions. The purpose of the concept phase is to take the design to a conceptual level and present it to ensure it conforms to the guidelines and is appropriate for the homesite prior to expending too many resources. The ARB will make comments or recommendations that will encourage development to the next step.

Plans submitted for review, or any portion thereof, may be disapproved upon any grounds if they are not consistent with the purpose and objectives of the Architectural Review Board, including purely aesthetic considerations.

Preliminary Review - \$500

Prior to submission of the final construction documents, a preliminary design review (must include an Architect's title page) shall be conducted to determine compliance with the requirements of the ARB, as well as to provide further design recommendations, if needed.

The owner should furnish the Preliminary Review Application (ARB - 1), Architectural Questionnaire (ARB - 2), Landscape Architectural Questionnaire (ARB - 3), the Preliminary Review fee and two (2) complete sets of the following documents:

1. Site Plan, drawn to scale, not smaller than 1"=20' showing: (2 copies)
 - a. Owner's Name.
 - b. Architect's Name, Address and Telephone/Fax Number.
 - c. Elevations of lot corners, center of lot, edge of roadways and wetland edge, water level and top bank, if applicable.
 - d. Setback limits.
 - e. Preliminary grading plan showing existing and proposed contours, culvert locations, sizes and flow directions, drainage and contour plan showing cut/fill or berm locations and heights.
 - f. Access to street, driveway, parking area and sidewalks/paths.
 - g. Access to lot for electric, cable, telephone, water, and sewer services.
 - h. All Structures (footprint and elevation) accurately located and clearly noted within property and setback lines with main entry and stairs indicated, roof lines, fences, walls, retaining walls, decks, patios, and location of HVAC.
 - i. Optional: Inset drawing with adjacent structure and any adjacent water bodies or other natural features noted, principal views indicated, and directions of prevailing winds marked.
2. Preliminary Landscape Plan: Scale: of 1" = 20' (2 copies)
 - a. Tree/Topographic Survey with location of all trees over 8" DBH or larger within 200 feet of the area surrounding the home site and driveway.
 - b. Show trees to be removed.
 - c. Irrigation plan - including location of lake source pump and return well pump.
3. Elevation Drawings: Scale: 1/4"=1' (2 copies)
 - a. All four exterior elevations.
 - b. Relation of building to grade level.
 - c. Height of structure and first floor elevation.
 - d. Overall height from grade to ridge of roof.
 - e. Description and color of all exterior materials and roof materials to be used.
4. Floor Plan Drawings: Scale 1/4"=1' (2 copies)
 - a. Each floor, mezzanine, and ground level plan.
 - b. Overall dimensions.
 - c. Square footage area of structure (see note below).
 - d. Room use labeled.
 - e. All walls, windows, and doors (with swings indicated).
 - f. All overhangs of floors or roofs.

- g. Ground level plan to show foundations, enclosure, driveway location, stairways, garbage, and HVAC enclosures.
5. Provide a copy of the recorded plat to show setbacks and easements.

The architect is to certify to the ARB that the minimum required square footage of the dwelling has been met by calculation of the enclosed heated living area lying above the “100 Year Flood Elevation” as established by the Georgetown County Flood Damage Prevention Ordinance.

The results of the Architectural Review Board action will be forwarded as soon as possible. If a substantive restudy is required, the applicant may elect to submit plans again for Preliminary Review before proceeding with the preparation of final construction documents.

Final Review (Construction Documents) - \$1,000

After Preliminary Review approval and comments, the owner should furnish the Final Review Application (ARB - 4), Architectural Questionnaire (ARB-2), Landscape Architectural Questionnaire (ARB-3), Construction Questionnaire (ARB-5), ARB Review fees, deposits, fine schedules (ARB-8) the Final Review fee, construction impact fee, heated square feet impact fee, architectural, landscape and construction compliance deposit, and a complete set of the following construction documents (in addition to that required for preliminary design approval):

1. Final site plan.
2. Final grading plan.
3. Final floor plans and all elevations.
4. Final plans for Outbuildings or other ancillary detached structures.
5. Final construction specifications.
6. **Samples of actual materials or details of exterior components to be used.**
 - a. Facades, including brick, hardie board, wood, etc.
 - b. Exterior Colors: 12"x 12" color boards for siding, trim, shutters, and doors.
 - c. Exterior Doors detail, including garage doors (cut sheets).
 - d. Windows schedule, including type, size, color, and manufacturer.
 - e. Shutters detail.
 - f. Tabby, Shingles or Roof material, 12 x 12 metal roof sample.
 - g. Chimneys and Cover detail.
 - h. Exterior Lighting detail (cut sheets) and plan.
 - i. Fences, Walls, and Retaining Walls detail.
 - j. Porches, Railings, Deck and Patio detail.
7. Proposed construction time schedule.
8. Final Landscape and irrigation plan.

Final Landscape Plan Review

The Architectural Review Board requires that each property owner constructing a new dwelling submit a Landscape and Irrigation plan to the Board for review and approval. A suggested plant materials list is included in the Appendix. The ARB strongly recommends their selection and usage. The landscape plan should include the following.

1. Preferred scale of 1" = 20'.
2. Landscape architect's name, address, and telephone/fax number.
3. North arrow and scale.
4. Property lines with dimensions and bearings.
5. Location of all trees over 8" DBH or larger within 200 feet of the area surrounding the home site and driveway (Show trees to be removed).
6. Location of all proposed plant material.
7. Type and description of lawn areas.
8. Plant list with quantities, common names, and species, sizes, and specifications.
9. Irrigation plan - including location of lake source pump and return well pump.
10. Drainage requirements.
11. Location and elevation (if applicable) of all structures, including fences, walls, retaining walls, decks, patios, fire pits, pavements and utilities.

Final Approval

After Final Review approval by the Architectural Review Board, a Final Approval letter will be forwarded to the applicant by a representative of the Architectural Review Board. All fees and deposits must be received prior to the pre-construction conference.

Pre-Construction Conference

Upon notification of final approval of the building and landscaping plans, colors and materials by the ARB, the owner, architect, landscape architect and contractor "must request and schedule an onsite meeting" with representatives of the ARB to review the ARB Guidelines for alignment understanding, proper construction site appearance and etiquette throughout the construction and landscape process. Noncompliance with proper construction guidelines may result in partial or total non-refunding of the Architectural, Landscape and Construction Compliance Deposit. Prior to the pre-construction conference the following needs to be completed.

- a. Light under brushing of lot.
- b. Stake the front and rear corners of the lot. Pull string down sides and back of lot connecting to the property stakes.
- c. Stake corners of the home and pull string around the footprint of the home.
- d. Stake and pull string to mark any wetlands and buffers.
- e. Stake and pull string to mark footprint of the driveway.
- f. Clearing limits shall be delineated through the installation of construction fencing or other means, as approved by the ARB. In addition, tree protection within cleared areas is required for any trees to remain.
- g. Any trees to be removed shall be flagged with surveyor's tape and remove all other surveyors tape from trees. No trees may be removed prior to stake out inspection and approval by the ARB; however, must be in accordance with the Georgetown County Tree Ordinance. Removal of trees within the home site area that may cause damage to the home is allowed. Other dead, diseased, infectious, or hazardous trees may be removed by the homeowner. Any Protected healthy tree outside the building area must have ARB approval prior to removal.
- h. Install construction barricade / silt fencing along any wetlands or buffers that are not to be disturbed.
- i. A representative of the ARB will inspect the lot when notification of the above action has been given to the Board and approval will be made a part of the Final Review Process.
- j. The storyboard is to be built on-site and must include all exterior colors, trim, window, gutter, foundation, and roofing material. The storyboard must be installed as early as possible, but no later than the start of framing. (ARB-10).

NOTE: Trees require the area around the base of the tree remain undisturbed to promote the overall health of the tree. Speak with the clearing contractor to leave a minimum of 10' around tree undisturbed unless it affects the driveway or the home.

After site clearing and before starting vertical construction of the home the following must be accomplished.

- 1 Install silt fence around all sides of the lot, which must be maintained throughout the entire construction process.
- 2 Install construction entrance, which must be maintained throughout the entire construction process (see ARB-11).

- 3 Install tree protection if applicable (2x4 posts and 2x4 top rail).
- 4 Confirm that wetland and or buffer barricades are intact.
- 5 Install building pad to endure proper drainage to points of the outfall, as well as drainage away from the home and adjacent homes.
- 6 Ensure pad is constructed so that the minimum finished floor elevation of forty-eight (48" inches) can be achieved.

NOTE: The tree canopy, including pine trees, is considered an important community asset; therefore, tree removal is to be minimized. Clearing shall be limited to within approximately 50' feet of the house foundation and the driveway.

Unauthorized tree removal is subject to a fine of up to \$5,000 per tree. Removal of any unauthorized tree will result in a fine and will require mitigation of like kind and size.

Unauthorized / Unapproved changes to final approved landscape plans will result in fines being levied against the property owner.

An on-site inspection is required prior to the driveway material being poured / installed.

Construction Compliance Guidelines

Construction Guidelines

It is suggested that the owner have their contractor secure a performance bond for 100% of the estimated construction cost, conditioned upon faithful performance of work as shown in the plans and required herein together with labor and material payment bonds guaranteeing payment of all persons supplying labor or material for the work before the delivery of material and start of construction. Prince George has designed a sign to display the name of the owner; architect, landscape architect and contractor during construction see ARB – 9.

For Sale, For Rent, commercial, political or any other signage will not be allowed except such signs that may be required by law or for security.

Construction Regulations

Contractors must be licensed in the State of South Carolina. Contractor should provide a designated foreman or supervisor on the job at all times. Contractors are responsible for the actions of their workers while on the property. Gate codes are issued to each subcontractor and the contractor is responsible for Sub's actions while on Prince George property. Codes are monitored for activity and can be revoked for misuse. The ARB Review Fees, Deposits and Fines Schedule is form ARB - 8. Workers are allowed access to and from the job site only and are not allowed to ride around the development unnecessarily or to use any facilities, including lakes for fishing, recreational areas, beaches, docks, pools, tennis courts, and parking. Harassment of residents and visitors is forbidden. All workers must wear shoes and shirts on the job site. The contractor must provide toilet facilities for the workers on the job site in a discreet location and at least 100 feet from the roadway and properly screened. The toilet facility must be screened in natural wood lattice and **must** be moved once the lot has been cleared. Any contractor found to be in obvious nonconformance of these regulations will be denied access, and work will be suspended. **Construction will be allowed only between 6:00 AM and 6:00 PM Monday-Friday, and between 6:00 AM and noon on Saturday, with no construction work on Sundays and holidays. Exceptions may be considered with prior ARB approval. Holidays include New Year's Day, Easter, Memorial Day, July 4th, Labor Day, Thanksgiving and Christmas.**

Inspections while construction is in progress may be conducted regularly by the ARB to ensure conformance with the approved drawings and specifications. Changes made during construction must receive approval by the ARB prior to the change and may be subject to additional review fees. All minor / major changes must be shown along with the details of the before / after change. Details of the change must be outlined on form ARB-7. Major changes may constitute resubmission for final approval. It should be noted that Prince George or its agents assume no responsibility for inspecting construction in progress for compliance with the approved plans or codes. The owner assumes full liability for failure of construction to comply with approved documents.

Site Regulations

For site protection, the following guidelines are required:

1. Final Approval will be valid for eighteen months. This includes landscaping which must be in place within three months of completion of construction or occupancy. If planting should coincide with summer months of June-October, it can be delayed until October for maximum success rate. Extensions, if submitted in writing, can be granted by the ARB due to adverse weather conditions.
2. No trees over 8" DBH shall be cleared within the site building setback lines without approval by the ARB as follows:
 - 1) between property lines and building setback line,
 - 2) within 35 feet of edges of marsh, wetlands and PG Preservation, LLC land unless approved,
 - 3) all areas not occupied by building and/or paving unless approved otherwise on-site plan, and
 - 4) as stipulated in the individual lot development restrictions, Declaration of Covenants and Restrictions and Georgetown County Tree Ordinances
3. All reasonable means shall be taken during construction and after to protect and preserve all existing trees.
4. Boards or materials shall not be nailed to trees during construction.
5. Storage of equipment or material, temporary or otherwise, is not permitted under the drip line (area on ground equal to limits of vegetation above) of trees. Storage should occur within the driveway and parking limits of the site.
6. Sediment and erosion control provisions shall be employed during construction, as required by the State of South Carolina.
7. All paving, fixtures, fencing and landscaping damaged during construction or after by vehicle, fire, or other cause on or off site, including streets, shoulders, and common areas, shall be repaired or replaced by the owner. The property owners will be responsible for the contractor's actions during construction.
8. Any clearing, grading, or building on site without approval by the ARB will result in suspension of work and denial of Community access to the contractor.
9. **Burning of any kind is not permitted.** All trash, debris, and waste shall not be exposed to public view and shall be contained daily in a commercial dumpster. Prince George reserves the right to clean the site as needed due to noncompliance. The owner will be charged for the cost of such work.
10. Before any tree removal or beginning construction, the construction entrance must be installed as detailed on ARB-11. Gravel, mud, dirt, rocks, and other debris must be removed from the roadway daily or as needed. Magnetic

Sweepers or rollers to remove nails or screws should be used as needed. Drainage culverts, if needed, must be installed prior to

construction.

11. Port-O-Johns are to be in a discreet location; at least 100 feet from the roadway and the door must face the house and not face the roadway. Screening is required using natural wood lattice.
12. The permit box shall not be visible from the roadway. Mount permit box to the backside of the approved Prince George construction sign or another discreet location on the lot.

Construction Application (Deposits, Fees, and Building Permit)

When the owner/contractor submits the Construction Application (ARB-5), the Construction Impact fee, Heated Square Feet Impact fee and the Architectural and Landscape Compliance Deposit are required to be included. **See Page 50 for mailing address.**

Make checks payable to: Prince George Community Association, Inc.

New Construction

- | | |
|---|----------|
| 1. Construction Impact Fee (Non-Refundable) | \$1,800 |
| 2. Heated Square Feet Impact Fee (Non-Refundable) | x \$0.50 |
| 3. Architectural, Landscape and Construction Compliance Deposit | |
| Property Owner | \$25,000 |
| Contractor | \$ 6,000 |
| Total Deposits | \$31,000 |

Deposits to be paid separately and reimbursed separately.

Existing Homes

- | | |
|---|----------|
| 4. Minor Renovations Impact Fee (Non-Refundable) | \$500 |
| <small>(Replacement of windows, shutters, exterior lighting, exterior doors, landscape lighting, fence installation, landscape improvements).</small> | |
| 5. Major Additions and Renovations Impact Fee (Non-Refundable) | \$1,000 |
| <small>(Additions to existing home, out buildings, concrete / masonry work on home, driveway, entrance columns, exterior painting, enclosing existing porch/deck pool installation, roof replacement.</small> | |
| 6. Heated Square Feet Impact Fee (Non-Refundable) | x \$0.50 |
| 7. Architectural, Construction Compliance and Landscape Deposit (Refundable) | \$5,000 |
| 8. Pool Construction Impact Fee (Non-Refundable) | \$500 |

NOTE: *The above deposits and fees are subject to change without prior notice.*

When the above deposits and fees have been paid and the final plans are approved, the owner or owner's representative can secure a Building Permit from the applicable Building Inspector's Office, whereupon construction can commence. The deposit and impact fees are to ensure compliance with the approved plans, for any necessary site maintenance and correction of any damage to streets, road shoulders and common areas. Noncompliance with proper construction guidelines may result in partial or total non-refunding of the Architectural, Landscape or Construction Compliance Deposit.

The site work, construction and landscaping for all approved dwellings and other structures should be completed within eighteen (18) months after construction begins, except where such completion is not possible or would result in great hardship to the owner or contractor due to strikes, fires, national emergency or natural calamities as determined by the Architectural Review Board. When fully executed, the Final Approval Agreement shall serve as final approval by the Architectural Review Board for the construction. If construction has not commenced within six (6) months after the date of Final Approval Agreement, it shall be deemed to have expired unless the applicant, prior to such expiration date, has requested and received an extension in writing from the ARB.

Periodic Inspections during Construction

The right of entry and inspection is specifically reserved by the Architectural Review Board, its agents, and representatives to visit all or any portion of the owner's property for the purpose of verifying compliance with the requirements of the Board. Representatives of the ARB will make periodic inspections without notice during the entire construction period. If any work is found to be incomplete or inadequate during final inspection, a re-inspection fee will apply. The owner will be notified in writing with a copy of any items and exceptions noted in the inspection report, and all such items and exceptions must be resolved by the next meeting of the ARB.

Final Inspection upon Completion of Construction

The applicant shall notify the Architectural Review Board when the construction is complete. The final inspection will be made after completion of all site work, completion of all construction, completion of all landscaping, cleaning the site of debris, removal of contractor signage and removal of any temporary utilities. Completion of landscaping includes repair (to original condition) to all roadside grass areas damaged or destroyed by construction trucks, by roadside parking, during installation of the driveway, and during installation of sewer, water, and cable services. A list of items to be corrected, if necessary, will be provided to the owner or his designate by the ARB. The property owner and or contractor will have 30 days to comply with any outstanding conditions. Additional fines and penalties may be applied if this date is exceeded. Representatives of the ARB will make a final inspection. ***Deposits will be refunded only after final approval for both the building and the landscaping is granted by the Architectural Review Board.***

Minor Changes and Major Additions or Renovations Review (for Existing Homes)

All improvements such as minor changes, additions or renovations must be submitted to and approved by the ARB. The ARB will determine on a case-by-case basis if any fees or deposits are required. Some minor changes may not be subject to review fees or deposits. Major projects will normally require both a review fee and a deposit, if the project requires a building permit. Contact the ARB with questions. If approval is not requested or given, additional fines may occur. Additionally, if any unauthorized changes are not appropriate, the owner will be required to make them acceptable. Minor Changes and Major Additions or Renovations Application Form ARB – 7, ARB Review Fees, Deposits and Fines Schedule Form ARB - 8 and Construction Application Form ARB - 5 are required.

Illustrative, but not inclusive of the types of things for existing homes which must be submitted to the ARB for approval are:

1. Repainting any exterior portion of your home in a color different from the original.
2. Submit 12 x 12 color sample board with new exterior colors to the ARB for approval.
3. Roofing changes of either material or in a color different from the original. Provide cut sheet.
4. Exterior changes, including driveways.
5. Outbuildings, including guest houses, screen enclosures, garages, etc.
6. Major landscape changes, including wells or lake pumps.
7. Playground equipment, swing sets, basketball goals, trampolines, and similar items.
8. Adding a pool, outdoor Jacuzzi, tennis court, deck, dock, fence and retaining wall.
9. Installation of large statues, fountains, or other similar items.
10. Installation of satellite dish, antenna, etc.

APPENDICES

PRELIMINARY REVIEW APPLICATION

Prince George Architectural Review Board

Date: _____

Lot Number _____ Street Name _____

Owner _____

Address _____

Telephone _____ Email _____

Architect _____

Address _____

Telephone _____ Fax _____

Email _____

Contractor _____

Address _____

Telephone _____ Fax _____

Email _____

Surveyor _____

Landscape Architect _____

Address _____

Telephone _____ Fax _____

Email _____

For PG ARB Use

	Survey		Conceptual Plan Approved		Preliminary Fee Paid
	Architectural Questionnaire		Elevations		Floor Plan
	Landscape Architectural Questionnaire		Site Plan		Landscape Plan

Comments _____

	On-site Inspections Conducted		Approved / Date		Disapproved
--	-------------------------------	--	-----------------	--	-------------

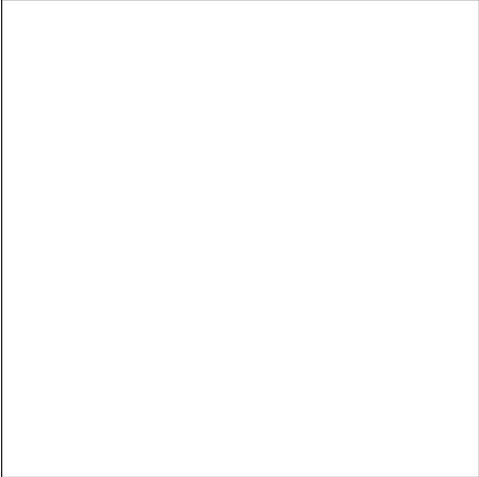
9. Height of building (highest roof range) _____
10. Mean finished grade within this footprint _____
11. Total under roof area _____
12. Total Heated area _____
13. Total open porch/deck areas _____
14. Total screened porch area _____
15. Screening material _____
16. Describe the following:
- a. Siding/Wall Material _____
Color _____
 - b. Trim Material _____
Color _____
 - c. Roofing Material _____
Color _____
 - d. Exterior Doors _____
Color _____
 - e. Windows Materials _____
Color _____
 - f. Exterior Lighting Fixtures _____
Color _____
 - g. Driveways and Paving _____
 - h. Fences _____
Color _____
 - i. Outbuildings/Other structures _____
Color _____
 - j. Other _____

To the best of my knowledge, the foregoing statements are true.

Architect's Signature

Date

Architect's Seal



LANDSCAPE ARCHITECTURAL QUESTIONNAIRE

Prince George Architectural Review Board

Date: _____

To be completed by the Landscape Architect submitting documents for approval at preliminary and final stages

_____Preliminary _____Final

Lot Number _____ Street Name _____

Owner _____

Landscape Architect's name _____

Firm _____

Address _____

Telephone _____ Fax _____

Email _____

S.C. Registration Number _____

- 1. Has the landscape architect visited the site? _____ Yes _____ No
- 2. If yes, date of last visit _____

- 3. Has the landscape architect read the Declaration of Covenants and Restrictions, Lot Development Restrictions, and Architectural Standards and Guidelines and designed the landscape accordingly? _____ Yes _____ No

- 4. Has the landscape/site improvement plan been designed according to the Architectural Design Standards and Guidelines? _____ Yes _____ No
If no, please describe and give reason _____

- 5. Has the landscape architect attempted to minimize the amount of site to be graded? _____ Yes _____ No

- 6. Percentage of site to be graded _____
this area should be kept to a minimum and generally include only the building footprint, driveway, parking area and walk area.

- 7. No site should be designed to displace water onto an adjacent lot. All drainage systems shall be designed to prevent standing water. Have drainage requirements been addressed? _____ Yes _____ No
How? _____

- 8. Has the landscape architect attempted to minimize the removal or damage of existing trees or vegetation? _____ Yes _____ No

9. *Attach proposed plant materials list.*

10. Will the Landscape Architect oversee the installation of plants and irrigation?
_____ Yes _____ No

If no, landscape installer's name _____

Firm _____

Address _____

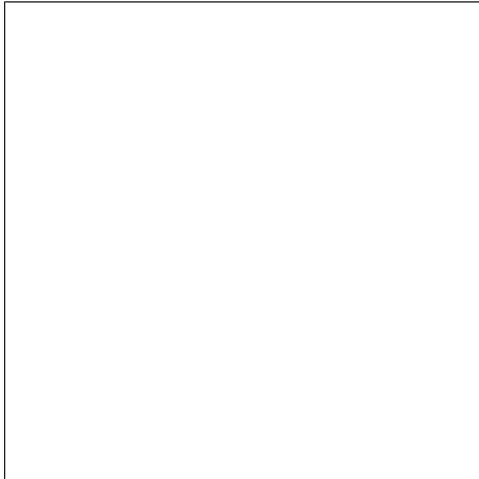
Telephone _____ Email _____

To the best of my knowledge, the foregoing statements are true.

Landscape Architect's Signature

Date

Landscape Architect's Seal



FINAL REVIEW APPLICATION

Prince George Architectural Review Board

Date: _____

Lot Number _____ Street Name _____

Owner _____

Address _____

Telephone _____ Email _____

Architect _____

Address _____

Telephone _____ Fax _____ Email _____

Contractor _____

Address _____

Telephone _____ Fax _____ Email _____

Surveyor _____

Landscape Architect _____

Address _____

Telephone _____ Fax _____ Email _____

The ARB has the authority to approve deviations from any of the Guidelines providing that the proposal is consistent with the overall objectives of the ARB Guidelines. For example, the ARB may disapprove an item shown in the final review submittal even though it may have been evident and could have been, but was not, disapproved at the Preliminary Review. An oversight by the ARB of non-compliance at any time during the review process, construction process or during its final inspection does not relieve the Owner/Developer from compliance with these Guidelines and all other applicable codes, ordinances, and laws.

For PG ARB Use

Preliminary Review Approved	Final Site/Grading Plan	Final Floor Plan/Elevations
Final Outbuilding Plans	Final Construction Specifications	Final Sample Board/Materials/Colors
Final Landscape/Irrigation Plan	Proposed Time Schedule	Final Review Fee Paid
Private Well for Irrigation	Lake for Irrigation	Variance Requested
Approved Date		Disapproved

Comments _____

CONSTRUCTION APPLICATION

Contractor

Prince George Architectural Review Board

Date: _____

_____ New Construction _____ Major Improvements to Existing Structure

Lot Number _____ Street Name _____

Owner _____

Contractor _____

Address _____

Telephone _____ Fax _____

Email _____

S.C. License Number _____

Previous Construction Experience

Have you built in Prince George before? _____ Yes _____ No

Please attach a list of five (5) completed jobs of similar level.

Agreement

I, _____, as contractor for the construction project described above, do hereby submit this Construction Application deposit in good faith to the Prince George Architectural Review Board for assurance that the construction will be implemented in accordance with the final plans as approved by the Architectural Review Board. I further agree that:

1. I have read the Architectural Standards and Guidelines, Construction Compliance Guidelines and Declaration of Covenants and Restrictions and do agree to follow these in full understanding.
2. I agree to construct and fulfill the plans and specifications as approved for this project in the final review by the Architectural Review Board. Any changes to these plans will first be approved by the Board prior to implementation.
3. I understand that the deposit submitted will be returned in full after a satisfactory inspection, unless a deduction is necessary to streets, road shoulders or common areas.
4. I am responsible for the behavior and actions of all workers contracted to do work on this job while they are in Prince George.
5. I am responsible for always maintaining a clean construction site at all times and understand that I am bound by the restrictions covered under the Architectural Compliance Guidelines.

This application, agreement and deposit made this _____ day of _____ 20____, by:

_____, Contractor _____, Witness

Amount Received _____ Check # _____

Approved By _____ Date _____ Architectural Review Board Representative

Attach a signed copy of ARB Review Fees, Deposits and Fines Schedule, (Form ARB - 8). After Final Review approval by the Architectural Review Board, a Final Approval letter will be forwarded to the applicant and signed by a representative of the ARB.

**FINAL CONSTRUCTION INSPECTION
and
DEPOSIT REFUND REQUEST**

Prince George Architectural Review Board

Date: _____

Lot Number _____ Street Name _____

Owner _____

Architect _____

Contractor _____

Landscape Architect _____

Requested Date of Inspection _____

I do hereby certify in good faith that the contracted structure on said lot does conform to the Standard Building Code, local codes and Prince George Architectural Review Board requirements and standards and the final plans as approved by the Architectural Review Board. All site work, landscaping, clearing, removal of temporary utilities and repair of damage to rights of way and common areas have been completed. If any work is found to be incomplete or inadequate during final inspection, a re-inspection fee will apply. This constitutes a request for return of Architectural and Landscape Compliance Deposit.

Contractor's Signature

Date

Owner's Signature

Date

For PG ARB Use

Deposit Returned In Full _____

Partial Refund _____

Amount Refunded \$ _____

Reason for Withholding _____

**MINOR CHANGE
and
ADDITIONS or RENOVATIONS APPLICATION**

Prince George Architectural Review Board

Date: _____

Lot Number _____ Street Name _____

Owner _____

Architect _____

Signature _____

Date _____

Landscape Architect _____

Signature _____

Date _____

Description of Request _____

Reason for change _____

(Please attach architectural drawings and/or pictures (if appropriate) that show detailed dimensions and specifications. Please also attach samples or pictures of materials to be used for proposed changes. Fees and deposits are due prior to final approval.

For PG ARB Use

___ On-Site Inspection Conducted

Inspected by _____

Date _____

___ Approved

___ Disapproved

___ Conditional Approval:

Reason _____

I understand and approve of this change:

Signed:

ARB Administrator

Date _____

ARB REVIEW FEES, DEPOSITS and FINES SCHEDULE

Fees and Deposits are due upon Notice. Deposits are not refunded until all fines are paid in full and are refillable. Fines may be imposed by the ARB as authorized by Prince George to the Builder, Contractor and or Owner for the violation of any of the procedures set forth in these guidelines. Prince George reserves the right to impose additional fines other than those listed below. In addition to these fines, the Builder, Contractor and Owner will also be responsible for the cost to correct damages for which fines have been imposed.

Application Review Fees

Conceptual Review for New and Existing Homes	No Charge
Preliminary Review for New Homes - Building and Landscape (Non-Refundable) Includes two reviews, \$200 per subsequent reviews	\$500
Final Review <i>for New Homes Includes one full review and one re-review after corrections of ARB requests. \$500 per additional final review. (Non-Refundable)</i>	\$1,000
Major Additions and Renovations Review for Existing Homes (Non-Refundable)	\$500
Minor Changes Review for Existing Homes (Non-Refundable)	\$200
Final Review for Existing Homes (Non-Refundable)	\$250

New Homes - Fees and Deposits

Owner ARB Deposit - Deposits are refillable and must be replenished within 30 days after fines. (Refundable) Paid by Property Owner and Contractor. (Property Owner \$25,000 / Contractor \$6,000)	\$31,000
Construction Impact Fee (Non-Refundable) (Plus, heated square footage x \$.50)	\$1,800
Re-Inspection fee after unapproved Final Inspection	\$250/Occurrence

Existing Homes - Fees and Deposits

Owner ARB Deposit - Deposits are refillable and must be replenished within 30 days after fines. (Refundable)	\$5,000
Minor Renovations Impact Fee (Non-Refundable)	\$500
Major Additions and Renovations Impact Fee (Non-Refundable) (Plus heated square footage x \$.50)	\$1,000
Pool Construction Impact Fee (Non-Refundable)	\$500
Re-Inspection fee after unapproved Final Inspection	\$250/Occurrence

FINES – Lots (developed and undeveloped) / New and Existing Homes

Unauthorized Tree Removal Before or During Site Clearing or Construction. Removal or Damage of Protected healthy Trees outside the building area (Example trees removed 8”in diameter or larger). Replacement to be determined by ARB, which would be full replacement size to mitigation of diameter replacement as determined. ARB will work with the Board of Directors for mitigation reform.	\$5,000/Tree and replacement
Unauthorized removal of live oaks specimen trees	\$25,000 per tree
Damage to Community Property and Natural Areas (if not repaired)	\$500/Occurrence
Damage to Roadways (not Repaired After 10 Days)	up to \$500/Day
Vehicles parked on Adjacent Property (after warning)	\$100/Day
Damage to Adjacent Property (and repair)	\$250/Occurrence
Trailers parked in street overnight	\$100/Day
Equipment left on property after completion of approved work (after warning)	\$100/Day
Unauthorized/Unapproved Minor or Major changes for existing homes	Up to \$1,000/Occurrence
Unauthorized/Unapproved exterior materials (and replacement)	Up to \$1,000
Unauthorized/Unapproved changes to Approved Plans (house, location of house, total height, roof or wall changes, landscaping, landscaping plans and other major changes as determined by the ARB).	Up to \$5,000 plus \$200/Week on going after warning
Miscellaneous Violations (after prior warning): Unscreened temporary sanitary facilities, littered construction site, dumpster, or material on right of way, overflowing dumpster, materials on adjacent property, failure to use gravel at curb cut.	up to \$100 Day/Occurrence
Violations of Requirements and Procedures (after prior warning)	\$100/Week
Not providing commercial dumpster	\$300/Week
Littered job site	\$50 to \$500
Dumping of any refuse material	\$1,000
Not providing portable toilet	\$100/Day
Workers without shirts	\$50/Occurrence
Improper location or screening of portable toilet	\$100/Day
Worker’s Pets on the job site	\$50/Occurrence
Loud music on job site	\$50/Occurrence
Unauthorized Burning	\$500/Occurrence
Any Unauthorized or Unapproved work or construction on site (changes to building lot, under brushing, removal of trees, under brushing within wetland buffers, building a structure.).	\$5,000
No erosion control device or lack of maintenance to existing device (plus \$50 day)	\$500
Working on Sundays, holiday or during unauthorized hours (after prior warning)	Up to \$1,000/Occurrence
Improper signage	\$500-\$1,000
Nonconforming Job Sign (after prior warning)	\$100/Day
Feeding Alligators	\$250/Occurrence
Contractor’s fishing in the lakes or fishing from the beach	\$250/Occurrence

Poorly Maintained Property: Exterior of Buildings or Lawn and Landscaping (Property with existing structure first 90 days, then monthly thereafter)	\$500
Lot Maintenance (failure to reimburse the Association for cost of tree/debris)	\$25/Day
Reckless Driving (going the wrong way on the Vanderbilt Circle, speeding, passing other vehicles).	\$500/Occurrence
Story Board not erected or missing required elements (after prior warning)	\$100/Day

Contractor

Date

Owner

Date

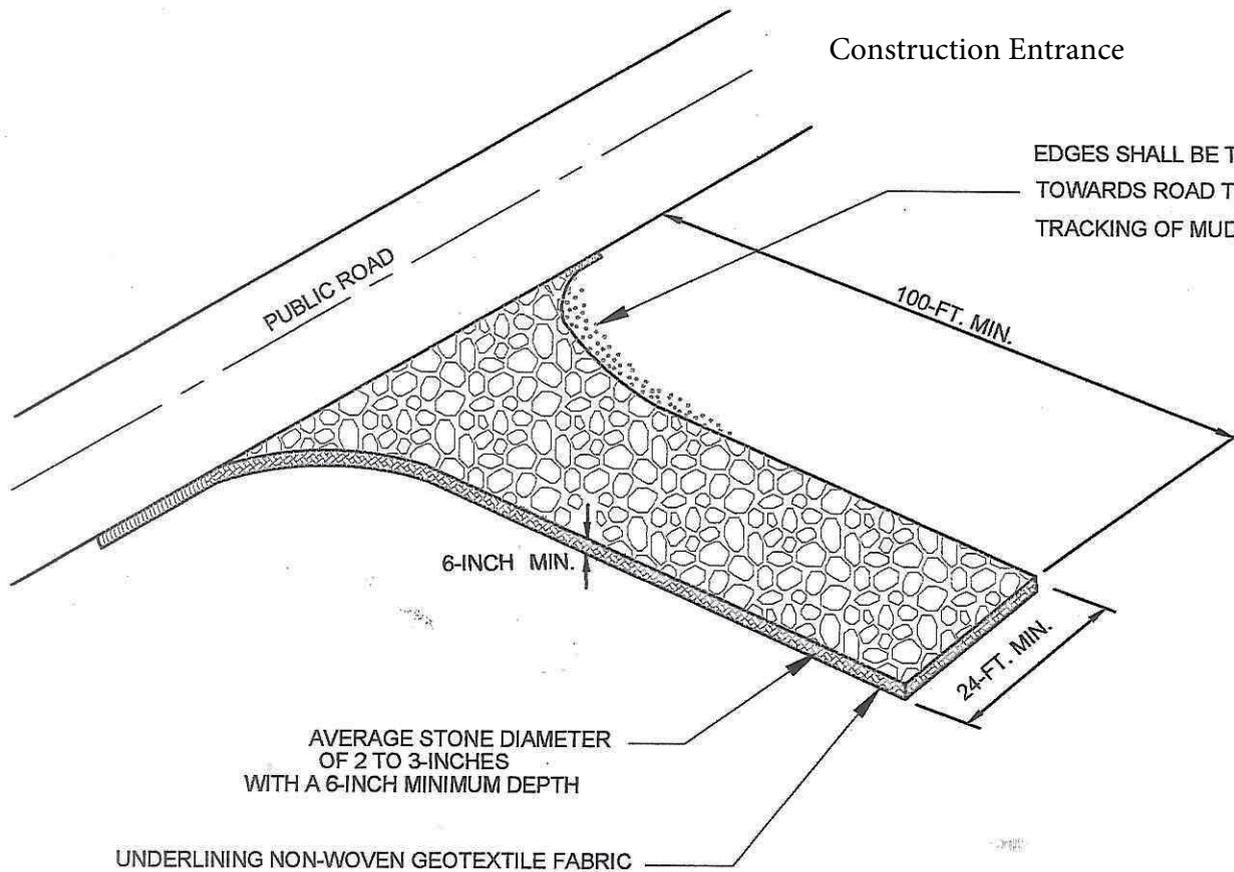
Prince George Construction Signage



Story Board



ARB - 10



EDGES SHALL BE TAPERED OUT TOWARDS ROAD TO PREVENT TRACKING OF MUD ON THE EDGES

INSTALL A CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.

DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN OR OTHER SEDIMENT TRAPPING STRUCTURE.

WHEN AND WHERE TO USE IT:

STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD.

IMPORTANT CONSIDERATIONS:

IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFFSITE. WASHDOWN FACILITIES SHALL BE REQUIRED AS DIRECTED BY SCDHEC AS NEEDED. WASHDOWN AREAS IN GENERAL MUST BE ESTABLISHED WITH CRUSHED GRAVEL AND DRAIN INTO A SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY VEHICLES.

INSTALLATION:

REMOVE ALL VEGETATION AND ANY OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA.

DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM STONES TO A SEDIMENT TRAP OR BASIN.

INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE.

INSTALL A CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.

THE ENTRANCE SHALL CONSIST OF 1-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES.

MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24-FEET WIDE BY 100-FEET LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS.

THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING OF MUD AT THE EDGE OF THE ENTRANCE.

INSPECTION AND MAINTENANCE:

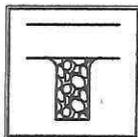
CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING PERIODS OF WET WEATHER. MAINTENANCE IS REQUIRED MORE FREQUENTLY IN WET WEATHER CONDITIONS. RESHAPE THE STONE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

WASH OR REPLACE STONES AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES.

FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE.

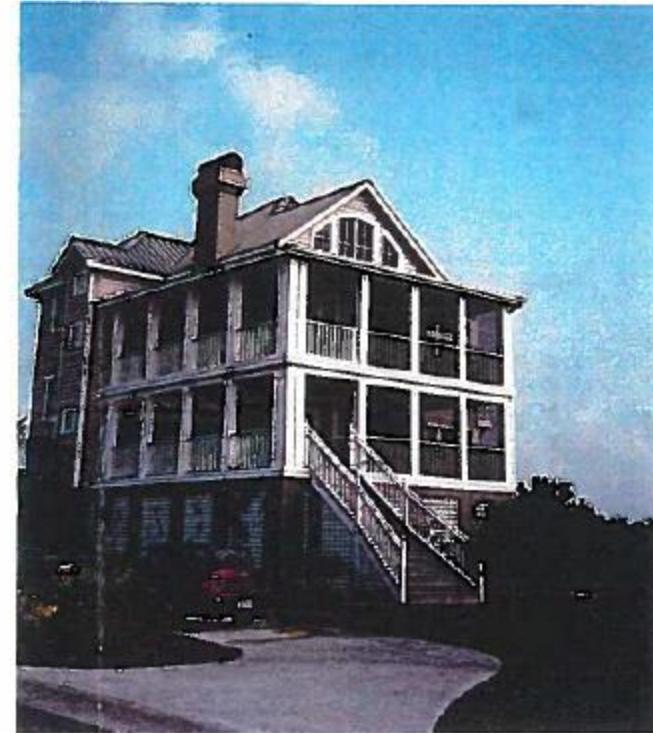
IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.

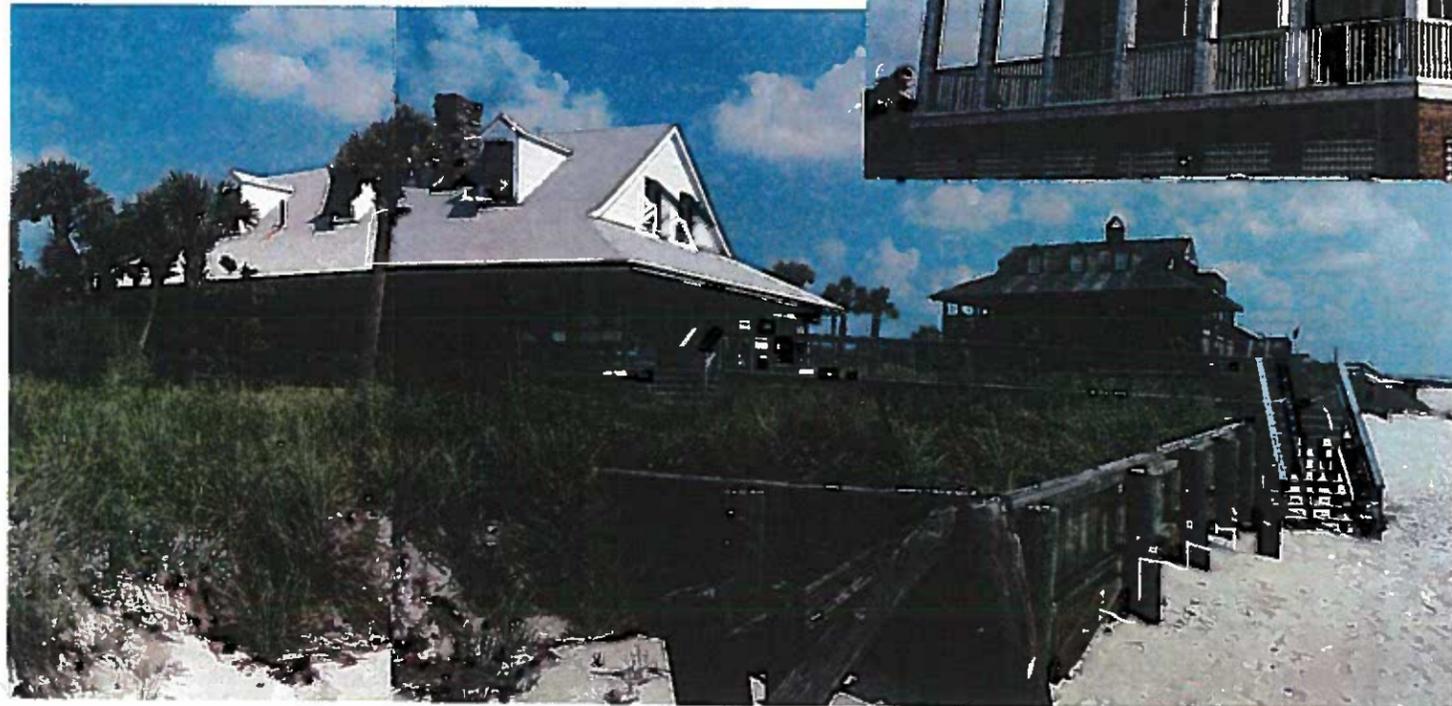
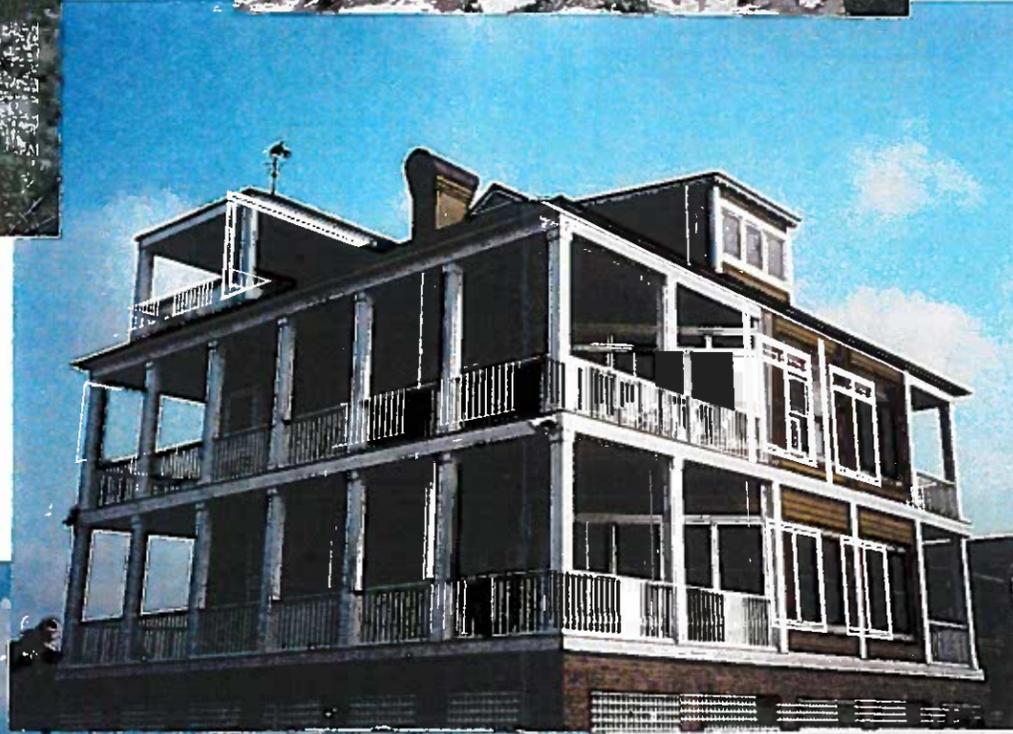
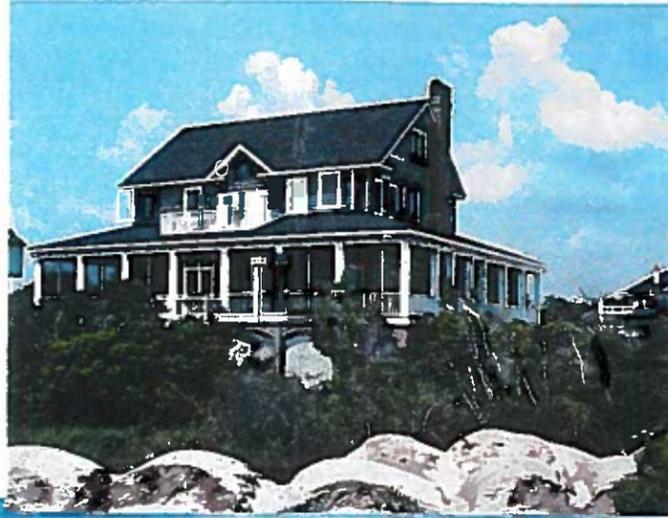
REPAIR ANY BROKEN PAVEMENT IMMEDIATELY.



STABILIZED CONSTRUCTION ENTRANCE

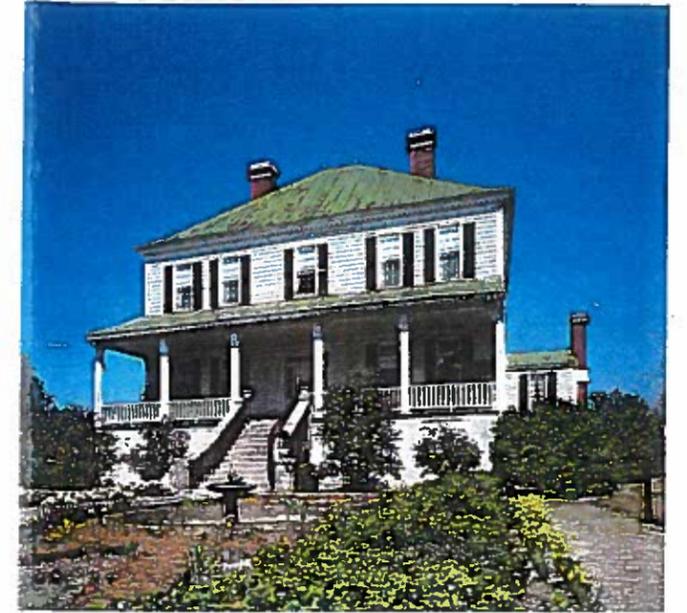
NOT TO SCALE



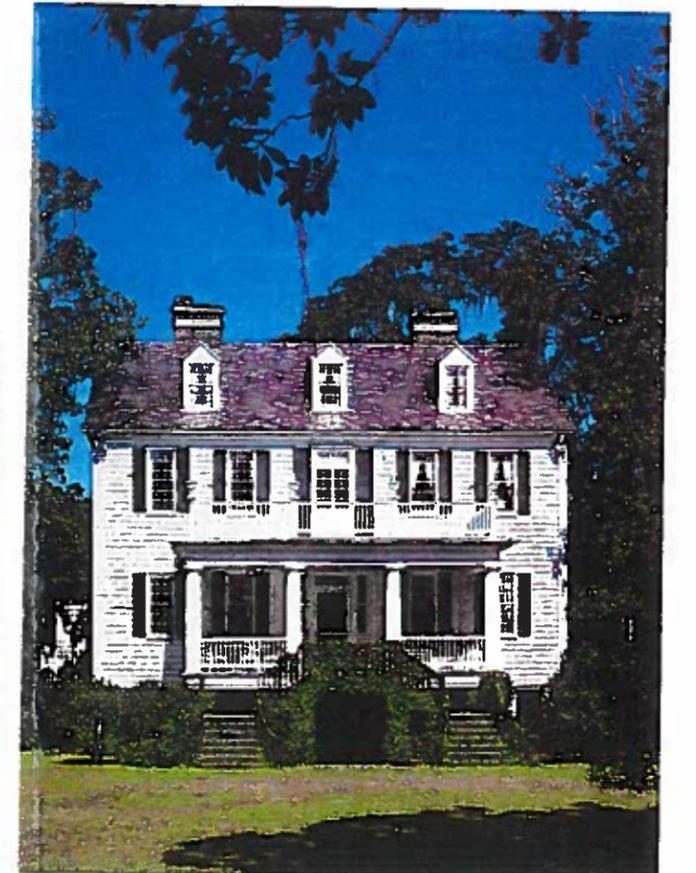
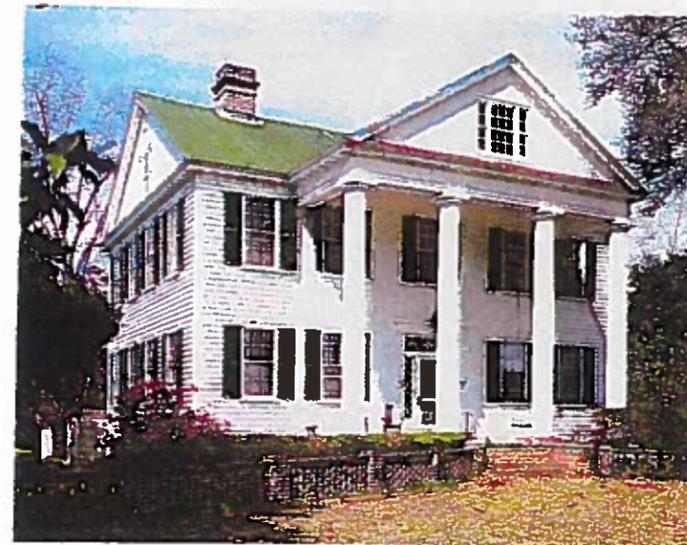
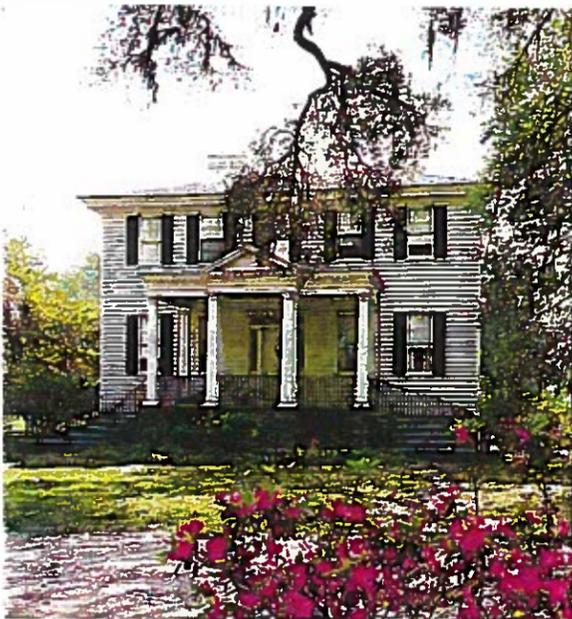


These photographs represent desired architectural details of Prince George Ocean

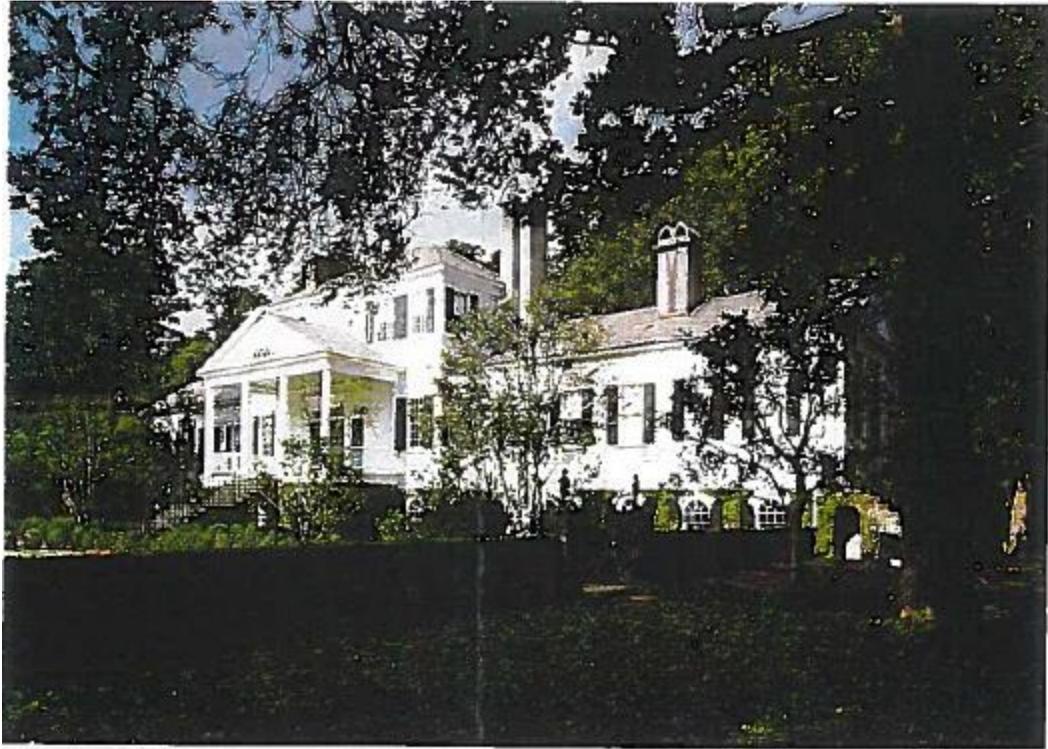




These photographs are representation of desired architectural elements of Prince George River and Prince George Ocean interior lots







Prince George ARB Final Inspection								
Date:	Lot:	Attendees:				ARB-13		
		OK	NO	N/A		OK	NO	N/A
Elevations					Outbuildings:			
Exterior Façade Materials:					Siding			
Siding					Color			
Color					Type			
Trim					Utilities			
Exterior Doors:					HVAC/Generator Wall or Screen			
Front door					Location			
Garage doors					Color			
Other Doors					Decks/Docks			
Windows:					Pools:			
Type					Location			
Color					Fenced			
Shutters:					Lights			
Type					Equipment			
Color					Driveway:			
Hardware					Apron			
Screen Color					Material			
Roof:					Width/Edge			
Type					Parking			
Penetrations painted					Fences and Walls			
Color					Site:			
Chimney:					Buffers			
Type					Grading/Drainage			
Cover					Tree Removal			
Porches:								
Screen								
Open								
Railings								
Exterior Lighting:					CONSTRUCTION SITE			
Style					Removed - Construction Sign			
Color					Removed - Port-O-John			
Landscape					Removed - Dumpster			
Landscaping:					Removed - Building Materials			
Grass					Removed - Debris			
Plant List					Removed - Temporary Service Pole			
Plant Locations					Removed - Silt Fences, Property Stakes			
Irrigation:					Street Swept			
Public					Rights of way/Common Areas Fixed			
Well								
Lake								

SUGGESTED PLANT MATERIALS LISTS

Note: Plants shown with an * beside the common name are favorites of deer and if planted should only be placed in very well protected areas. Plants shown as Oceanfront selection are more tolerant to the salt mist.

The use of deer-resistant perennials, herbs, bulbs, ferns, and ornamental grasses is also encouraged. There are too many varieties to list here. Local garden centers can advise as to plants that do well in our humidity and Planting Zone 8, Lower Coastal South.

Shade Trees

Acer rubrum Var.	Red Maple
Magnolia grandiflora	Southern Magnolia
Pistacia chinensis	Chinese Pistache
Platanus acerifolia	London Plane Tree
Platanus occidentalis	Sycamore
Quercus laurifolia	Laurel Oak
Quercus laurifolia Darlingtonia	Darlington Oak
Quercus nuttallii	Nuttall Oak
Quercus phellos	Willow Oak
Quercus shumardi	Shumard Oak
Quercus Virginiana	Live Oak (Oceanfront selection)
Taxodium distichum	Bald Cypress
Ulmus parvifolia	Chinese Elm
Zelkova serrate	Zelkova

Ornamental / Understory Trees

Acer palmatum Var	Japanese Maple-many varieties
Amelanchier x grandiflora	Autumn Brilliance Service Berry
Betula nigra Heritage	Heritage River Birch
Cercis Var	Redbud Tree-many varieties
Chinanthus retusus	Chinese Fringe Tree
Ilex cornuta Burfordi	Burford Holly*
Ilex opaca x Savannah	Savannah Holly*(Oceanfront selection)
Largerstroemia indica Var	Crepe Myrtle-many varieties
Magnolia grandiflora/macrophylla	Little Gem/Bigleaf Southern
Magnolia soulangiana	Saucer Magnolia
Magnolia virginiana	Sweetbay Magnolia
Malus hybrida	Flowering Crabapple
Prunus x Okame	Cherry
Prunus x Yedoensis	Yoshino Cherry
Pyrus calleryana Var	Callery Pear
Vitex agnus-castus	Chastetree

Evergreen Trees

Cocos capitata
Cupressus
Llex opaca
Juniperus virginiana
Magnolia grandiflora
Myrica cerifera
Pinus taeda
Sabal Palmaceae

Pindo Palm
Cypress
American Holly* (Oceanfront selection)
Eastern Redcedar (Oceanfront selection)
Southern Magnolia
Wax Myrtle
Loblolly Pine
Palmetto Palm

Screen Plants

Cleyera japonica
Cupressocyparis leyiandi
Elaeagnus
Eriobotrya japonica
Ilex cornuta Burfordi
Ilex opaca Var
Ilex x Nellie R. Stevens
Juniperus virginiana
Ligustrum japonicum
Magnolia grandiflora Var
Myrcia cerifera
Osmanthus xfortunei
Podocarpus maki
Taxus x media
Thuja
Viburnum odoratissimum
Viburnum suspensum

Cleyera
Leyland Cypress
Elaeagnus
Loquat
Burford Holly*
American Holly*
Nellie R. Stevens Holly*
Eastern Red Cedar
Ligustrum
Southern Magnolia Varieties
Wax Myrtle (Oceanfront selection)
Tea Olive
Podocarpus
Intermediate Yew
Arborvitae
Sweet Viburnum
Sandankwa Viburnum

Deciduous Shrubs

Abelia grandiflora
Berveris thunbergi
Buddleia davidi
Calliecarpa japonica
Chaenomeles speciosa
Clethra alnifolia Var
Deutzia gracilis
Forsythia xintermedia
Fothergilla gardenli
Hydrangea macrophylla
Hydrangea quercifolia
Punica granatum
Rosasea
Spirea cantoniensis/thunbergi
Viburnum macrophalum
Weigela Florida

Glossy Abelia (semi-deciduous)
Barberry
Butterfly Bush
Beautyberry
Flowering Quince
Summersweet
Deutzia
Forsythia
Fothergilla
Big Leaf Hydrangea-many varieties*
Oakleaf Hydranges*
Pomegranate
Roses-many varieties*
Spirea-many varieties
Chinese Snowball Virburnum
Weigela*

Evergreen Shrubs

Abelia xgrandiflora	Glossy Abelia & other varieties
Aucuba japonica	Japanese Aucuba*
Azalea hybrid	Various Hybrid Azaleas*
Azalea indica	Indian Azalea*
Berberis	Wintergreen Barberry
Buxus microphylla japonica	Japanese Boxwood-many varieties
Buxus sempervirens	American Boxwood-many varieties
Callistemon citrinus	Bottlebrush
Camellia japonica	Camellia*
Camellia sasanqua	Sasanqua Camellia*
Cycad revolute	Sago Palm (Oceanfront selection)
Daphne odora	Winter Daphne
Euonymus japonica	Evergreen Euonymus
Fatsia japonica	Fatsia*
Gardenia jasminoides Var	Gardenia
Illicium floridanum	Florida Anise
Ilex cornuta/burfordi	Chinese & Burford Holly*
Ilex crenata	Japanese & Helleri Holly
Ilex glabra/latifolia	Inkberry & Lusterleaf Holly
Ilex Var & Nellie Stevens	American varieties & Nellie R. Stevens Holly*
Ilex vomitoria	Yaupon Holly (Oceanfront selection)
Juniperus chinensis	Upright Chinese Junipers (Oceanfront selection)
Ligustrum japonicum	Ligustrum
Loropetalum chinense	Loropetalum
Mahonia aquifolium & bealei	Hollyleaf & Leatherleaf Mahonia
Myrica pensylvanica	Bayberry (Oceanfront selection)
Nandina domestica Var	Nandina
Nerium oleander	Oleander (Oceanfront selection)
Osmanthus fragrans/heterophyllus	Fragrant/Variou shaped leaf Tea Olive
Pittosporum tobira	Pittosporum (Oceanfront selection)
Pyracantha coccinea/koldzumii	Pyracantha/Formosa Firethorn
Raphiolepis indica	Indian Hawthorn*
Rosaceae	Rose-many varieties*
Rosmarinus officinalis	Rosemary
Taxus	Japanese Yew
Ternstroemia gymnanthera	Cleyera
Viburnum davidi/japonicum	Viburnum/Japanese Viburnum
Vaccinium ashei	Rabbiteye Blueberry

Perennial Ground Covers

Ajuga reptans Var	Bugleflower*
Artemisia stellerana	Dusty Miller (Oceanfront selection)
Aspidistra elatior	Cast Iron Plant
Cyrtomium falcatum	Holly Fern
Hedera helix Var	English Ivy
Helleborus	Lenton Rose

Hemerocallis Var
Hosta Var
Iberis sempervirens
Juniperus
Liriope muscari
Ophiopogon japonicas
Rosmarinus officianalis
Teucrium chamaedrys
Vinca minor

Daylily*- many varieties
Hosta*- many varieties
Candytuft (Oceanfront selection)
Prostrate Juniper (Oceanfront selection)
Liriope*
Mondo Grass*
Creeping Rosemary
Germander
Periwinkle

Vines

Campsis x Madame Galen
Clematis
Ficus pumila
Gelsemium sempervirens
Hedera helix Var
Lonicera sempervirens Var
Parthenocissus tricuspidata
Plumbaginaceae
Rosa vanksiae
Trachelospermum asiaticum
Trachelospermum jasminoides

Trumpetcreeper (Oceanfront selection)
Clematis - many varieties
Creeping Fig
Carolina Jessamine (Oceanfront selection)
English Ivy*
Honeysuckle (Oceanfront selection)
Boston Ivy* (Oceanfront selection)
Cape Plumbago (Oceanfront selection)
Lady Banks Rose* (Oceanfront selection)
Asian Jasmine
Confederate Jasmine (Oceanfront selection)

Here is a short list of **plants deer love** – avoid them unless they are very well protected:
Aucuba, Asiatic Lillies, Azaleas, Camellias, Cranebills(geranium), Crocus, Daylilies, Fatsia,
Fruit Trees (except blueberries and pomegranates), Hibiscus, Hostas, Hydrangeas, Indian
Hawthorn, Ivy, Lobelia, Liriope, Pansies, Phlox, PittosporumRoses, Rudbeckias, Sedum
Tulips and many, many more.